

FILE NO. \_\_\_\_\_ DATE \_\_\_\_\_  
DATE OF HEARING \_\_\_\_\_ DISPOSITION \_\_\_\_\_

BOARD OF ADJUSTMENT  
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL  
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME 8th Day Caterers  
ADDRESS 69 West Main Street  
OWNER'S NAME David Lisker  
OWNER'S ADDRESS 455 Revere Street PHONE # [REDACTED]  
311 827 389 FED I.D. # or S.S. # [REDACTED]

Applicant will be represented at public hearing by Self

TO THE BOARD OF ADJUSTMENT:

Application is hereby made for a variation/appeal from the requirements of Section (s) \_\_\_\_\_ and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at

NUMBER: 69 West Main St  
DESIGNATED AS Block (s) 123 and lot (s) 3  
On the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT \_\_\_\_\_  
VARIANCES REQUIRED: LOT AREA \_\_\_\_\_ LOT FRONTAGE \_\_\_\_\_  
LOT COVERAGE \_\_\_\_\_ FRONT YARD \_\_\_\_\_ REAR YARD \_\_\_\_\_ SIDE YARD \_\_\_\_\_  
TOTAL SIDE YARD \_\_\_\_\_ OTHER (specify) Expansion for non-conforming use

THE REASON FOR DESIRED VARIANCE/APPEAL  
Based on Building Dept Denial of plans  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DESCRIPTION OF PROPERTY

- 1. SIZE OF LOT 50 x 10 2. SQUARE FEET IN LOT 5248.98
- 3. SIZE OF PRESENT BUILDING 40 x 40 4. STORIES 1  
X
- 5. TOTAL AREA 1600 SQ. FT. 6. NUMBER OF ROOMS 6
- 7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 41.07 %
- 8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY 8th Day  
Center full occupancy
- 9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES \_\_\_\_\_  
NO X (If yes, provide a copy of same)
- 10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY \_\_\_\_\_  
Commercial + residential
- 11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES?  
YES X NO \_\_\_\_\_ IF SO, DATE FILED 11/2/15
- DISPOSITION \_\_\_\_\_
- 12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE?  
YES \_\_\_\_\_ NO X (IF SO, EXPLAIN) \_\_\_\_\_
- 13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?  
YES \_\_\_\_\_ NO X
- 14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?  
YES \_\_\_\_\_ NO X
- 15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER MUNICIPALITY?  
YES \_\_\_\_\_ NO X

## DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES \_\_\_\_\_ NO X
17. SIZE OF NEW ADDITION 40 x 40 SQ. FT.  
1600 AREA 21 HEIGHT
18. SIZE OF NEW BUILDINGS 40 x 40 SQ. FT.  
1600 AREA 34 HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS  
30.5 %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR 8
- 

## NOTE: ALL APPLICATIONS MUST INCLUDE:

1. Completed Application Form with Affidavits of Accuracy and Ownership.
  2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately.
  3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable.
- ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE.
  - ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE.
  - ALL RETURN RECEIPTS MUST BE SUBMITTED PRIOR TO HEARING.



**BOROUGH OF BERGENFIELD**

198 NORTH WASHINGTON AVENUE  
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.  
(201) 387-4055 EXT. 1-4092  
FAX: (201) 385-7376

February 9, 2022

8<sup>TH</sup> Day Caterers  
69 West Main St  
Bergenfield, NJ 07621

RE: 2<sup>nd</sup> floor addition

Dear Sir,

Your application for the 2<sup>nd</sup> floor addition has been denied for the following reason:

- Expansion of a non-conforming use. Must seek variance from Zoning Board.

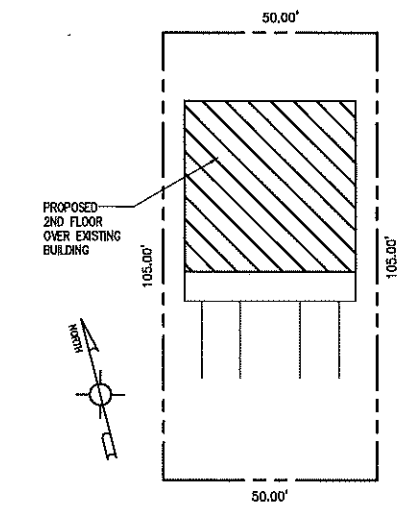
You have the right to appeal my decision to the Zoning Board. You may also contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

Michael Ravanda  
Zoning Officer

tbz



① SCHEMATIC SITE PLAN  
SCALE: 1" = 20'

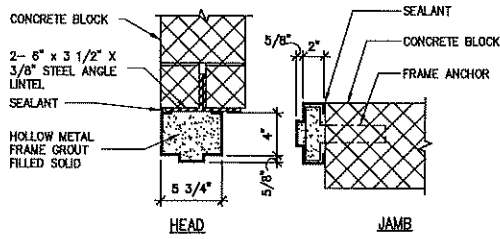
**COVERAGE CALCULATION**  
 EXISTING BUILDING = 1,600 SF  
 EXISTING WALKWAYS = 200 SF  
 EXISTING PARKING AREA = 2,170 SF  
 BUILDING COVERAGE  
 1,600 SF / 5,250 SF = 30.5%  
 IMPROVED LOT COVERAGE  
 3,970 SF / 5,250 SF = 75.6%

SURVEY INFORMATION TAKEN FROM PARTIAL SURVEY GIVEN TO ARCHITECT BY OWNER.

THE SURVEY IS SHOWN FOR SCHEMATIC PURPOSES ONLY TO CONVEY THE DESIGN INTENT AND ORIENTATION OF THE PROPOSED DWELLING. ACTUAL LAND SURVEY, MEETS, BOUNDS AND DISTANCES OF THE POSITION OF THE DWELLING MUST BE DONE BY A LICENSED LAND SURVEYOR IF REQUIRED BY THE TOWNSHIP.

WEST MAIN STREET

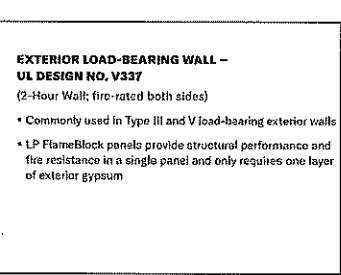
ZONING DATA				
PROJECT DESCRIPTION: PROPOSED 2ND FLOOR ADDITION 69 WEST MAIN ST BERGENFIELD, NJ				
ZONE: B-2 (BUSINESS)				
BLOCK: 123				
LOT: 3				
PROJECT #: 21-313				
DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTES
<b>LOT SIZE (MIN.)</b>				
AREA	10,000 SF	5,250 SF	5,250 SF	** E.N.C.
WIDTH	100 FT	50 FT	50 FT	** E.N.C.
DEPTH		105 FT	105 FT	
<b>SETBACK DIMENSIONS (MIN.)</b>				
FRONT (WEST MAIN ST)	15 FT	48 FT	49 FT	
SIDE (EACH)	15 FT	5 FT / 5 FT	5 FT / 5 FT	** E.N.C.
SIDE (BOTH)	30 FT	10 FT	10 FT	** E.N.C.
REAR	25 FT	16 FT	16 FT	** E.N.C.
<b>BUILDING (MAX.)</b>				
HEIGHT (FEET)	40 FT	13 FT	34 FT	
HEIGHT (STORIES)	3 STORES	1 STORY	2 STORES	
<b>COVERAGE (MAX.)</b>				
LOT COVERAGE	35 %	30.5 %	30.5 %	
IMPROVED COVERAGE	70 %	75.6 %	75.6 %	** E.N.C.
* V.R. = VARIANCE REQUIRED ** E.N.C. = EXISTING NON CONFORMING				
BUILDING DATA				
CONSTRUCTION CLASS: 5A PROTECTED, 2 STORES PERMITTED TABLE 504.4				
USE GROUP: F-1				
AREA OF NEW CONSTRUCTION: 1,600 SQ. FT. +/-				
VOLUME OF NEW CONSTRUCTION: 16,000 CU. FT. +/-				
BUILDING FOOTPRINT: 1,600 SQ. FT. +/-				
AREA OF LARGEST FLOOR: 1,600 SQ. FT. +/-				



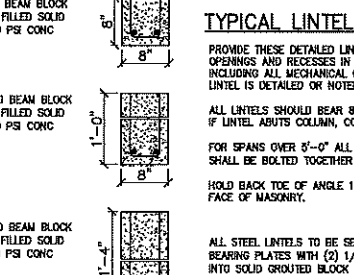
⑤ DOOR DETAIL @ MASONRY WALL  
SCALE: N.T.S.

2021 NJ BUILDING CODES IN EFFECT	
ZONING:	LOCAL MUNICIPALITY ZONING ORDINANCE
BUILDING:	UNIFORM CONSTRUCTION CODE - STATE OF NEW JERSEY, INTERNATIONAL BUILDING CODE 2018 NEW JERSEY EDITION, NJAC 5:23-3.14
REHABILITATION SUBCODE:	NJICC SUBCHAPTER 6, NJAC 5:23-6
ENERGY:	INTERNATIONAL ENERGY CONSERVATION CODE 2018 ASHRAE 90.1 - 2016, NJAC 5:23-3.18
PLUMBING:	NATIONAL STANDARD PLUMBING CODE 2018, NJAC 5:23-15
MECHANICAL:	INTERNATIONAL MECHANICAL CODE 2018, NJAC 5:23-3.20
ELECTRICAL:	NATIONAL ELECTRICAL CODE (NFPA 70) 2017, NJAC 5:23-3.16
GAS:	INTERNATIONAL FUEL GAS CODE - 2018, NJAC 5:23-3.22
ACCESSIBILITY:	NJAC 5:23-7 / BARRIER FREE SUBCODE, ICC/ANSI A117.1 - 2009
USE GROUP:	B BUSINESS

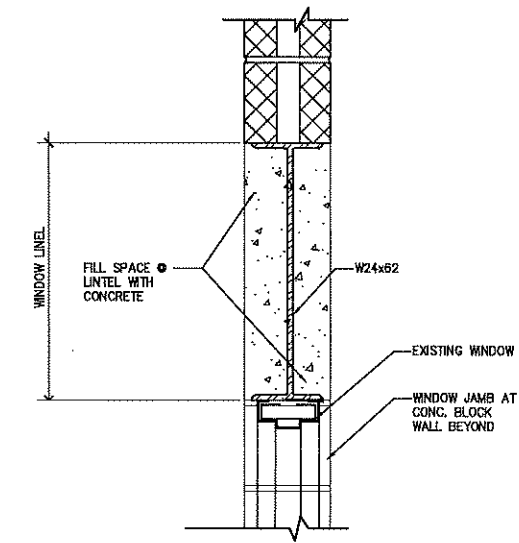
DOOR SCHEDULE														
DR.	QTY.	LOCATION	SIZE: WxH	MATERIAL	TYPE/ ELEV.	FRAME	SADDLE	FINISH	HARDWARE	REMARKS				
				INSULATED STEEL ALUMINUM HOLLOW WTL. WOOD	ELEVATION - 'A' ELEVATION - 'B'	HOLLOW WTL. HOLLOW WTL. WOOD	METAL NON-SLIP MARBLE	PARTY/ STAIN LAMINATE	PREFINISHED PUSH BAR, ADA PULL PUSH BAR, WALL PLATE					
D1	(NOT USED)									ALL HARDWARE TO BE ADA.				
D2	2	STAIRWELL INTERIOR	3'-0" x 6'-8"	3	B	2	2		1	ADA CLOSER, 40 MIN. FIRE RATED PUSH BAR IN THE DIRECTION OF EGRESS TRAVEL.				



DOOR TYPES  
SCALE: 1/4" = 1'-0"

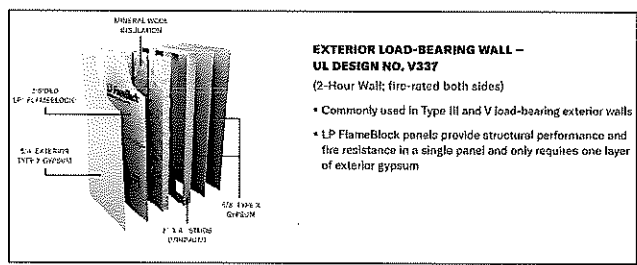


FRAME TYPES  
SCALE: 1/4" = 1'-0"

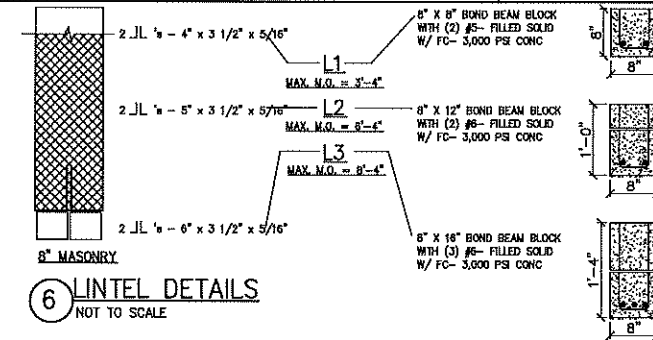


② SECTION THRU LINTEL, TYP.  
SCALE: 1 1/2" = 1'-0"

- DEMOLITION NOTES:**
- CONTRACTOR TO SHORE, BRACE, AND PROTECT ALL EXISTING STRUCTURES AND PROPERTY DURING DEMOLITION AND CONSTRUCTION.
  - CONTRACTOR TO COORDINATE UTILITY LOCATION, APPLICATIONS FOR SERVICE, SERVICE INTERRUPTION, PERMITS, ETC. WITH APPROPRIATE UTILITY COMPANIES PRIOR TO THE START OF ANY WORK. COORDINATE ALL UTILITY INTERRUPTIONS WITH OWNER. PROVIDE 48 HOUR NOTICE MIN.
  - CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK. ANY CONDITION IN QUESTION SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR RESOLUTION.
  - THE USE OF EXPLOSIVES IS PROHIBITED.
  - ALL RUBBISH AND DEBRIS DUE TO DEMOLITION AND CONSTRUCTION SHALL BE PROMPTLY REMOVED FROM SITE AND DISPOSED OF PROPERLY. THE STORAGE OR SALE OF ANY SALVAGED MATERIALS ON SITE IS PROHIBITED.
  - CONTRACTOR TO PROTECT ALL ITEMS TO REMAIN AND SAFEGUARD OWNER'S PROPERTY FROM DAMAGE, DEBRIS, AND DUST THROUGHOUT THE WORK. ERECT DUST BARRIERS, ETC. TO PROTECT PROPERTY AND PEDESTRIAN TRAFFIC.
  - ANY COLUMNS, BEAMS, ETC., STEEL OR OTHERWISE UNCOVERED DURING THE DEMOLITION OF BEARING WALLS SHALL REMAIN IN PLACE UNLESS OTHERWISE NOTED ON PLANS. THE STRUCTURAL ENGINEER AND ARCHITECT SHALL IMMEDIATELY BE CONTACTED FOR INSTRUCTION AND RESOLUTION.
  - PATIOS AND REPAIR WALLS AND CEILINGS (IF APPLICABLE) TO REMAIN THAT ADJOIN WALLS REMOVED DURING DEMOLITION.
  - BOTTOM OF BEAMS TO BE FLUSH WITH CEILING UNLESS OTHERWISE NOTED. TAPE, SPACKLE, AND PAINT FOR "FLUSH" FINISH, BEAR 4" MIN. EACH END.
  - BROOM CLEAN SITE AFTER EACH WORK DAY AND REMOVE ANY CONSTRUCTION DEBRIS DAILY. ANY REUSE CONTAINER ON SITE TO BE REMOVED PROMPTLY UPON COMPLETION OF THE WORK OR AS CAPACITY IS FILLED.
  - G.C. TO RELOCATE ALL EXISTING INTERIOR DUCTS, PIPES, ETC. THAT INTERFERE WITH NEW WORK AND RESTORE TO WORKING ORDER AFTER RELOCATION AS COORDINATED WITH OWNER.



④ UL V337 2-HR EXTERIOR WALL  
SCALE: N.T.S.



⑥ LINTEL DETAILS  
NOT TO SCALE

**TYPICAL LINTEL DETAILS**

PROVIDE THESE DETAILED LINTELS OVER ALL OPENINGS AND RECESSES IN MASONRY WALLS INCLUDING ALL MECHANICAL OPENINGS UNLESS LINTEL IS DETAILED OR NOTED OTHERWISE ON PLAN.

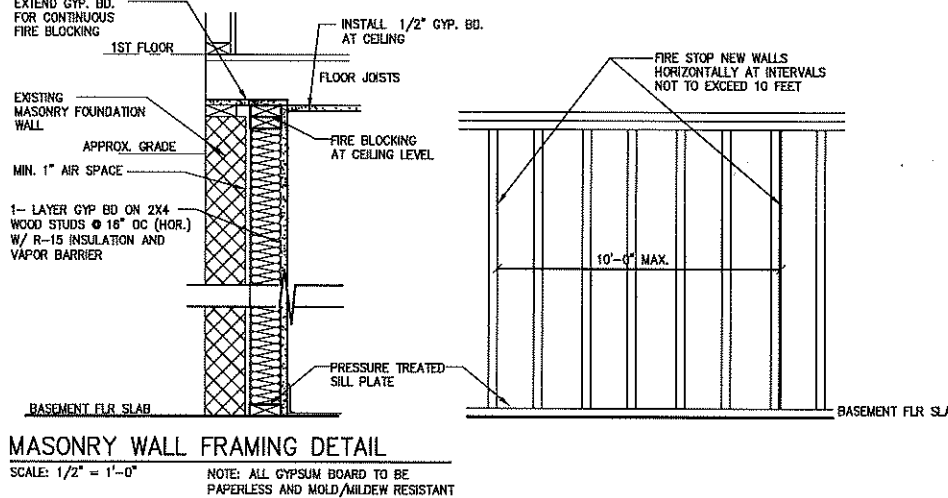
ALL LINTELS SHOULD BEAR 8" EACH END; IF LINTEL ABUTS COLUMN, CONNECT TO COLUMN.

FOR SPANS OVER 6'-0" ALL DOUBLE ANGLE LINTELS SHALL BE BOLTED TOGETHER (BACK TO BACK).

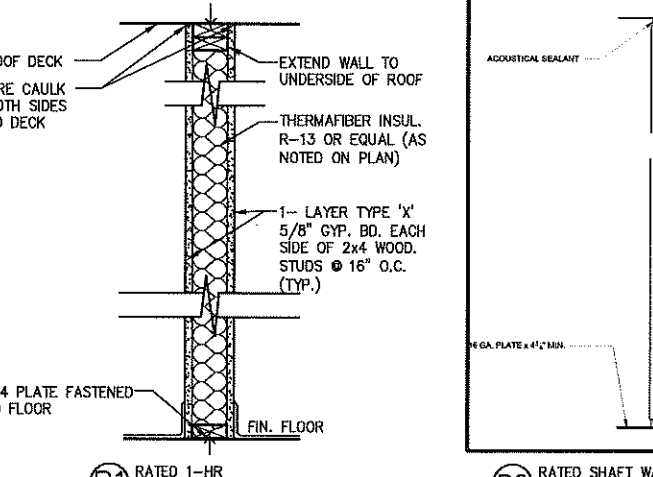
HOLD BACK TOE OF ANGLE 1/2" FROM EXPOSED FACE OF MASONRY.

ALL STEEL LINTELS TO BE SET ON 7" x 7" x 1/2" BEARING PLATES WITH (2) 1/2" 10 STEEL STUDS INTO SOLID GROUTED BLOCK WALL. BEAR MIN. 4" EACH SIDE.

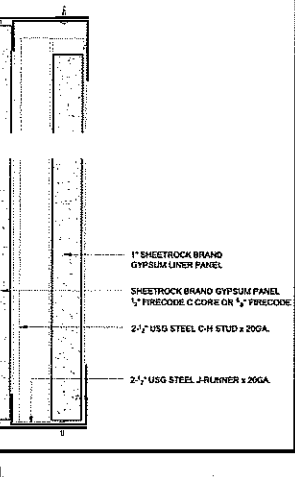
ALL MASONRY LINTELS TO HAVE 8" MIN. BEARING EACH END.



MASONRY WALL FRAMING DETAIL  
SCALE: 1/2" = 1'-0"



P1 RATED 1-HR UL DESIGN U425



P2 RATED SHAFT WALL UL DESIGN U415

**jsa LLC**  
 jacob solomon architect, aia  
 14-25 plaza rd suite s-3-5  
 fair lawn-nj-07410  
 tel-201-797-0294  
 fax-201-625-6545  
 jsolomon@jallcnj.com  
 Jacob Solomon, AIA  
 Principal  
 NJ RA 21A101255200  
 NY Lic. No. 039906-1  
 FL Lic. No. AR98757  
 PA Lic. No. RA409200  
 www.jallcnj.com

Jacob Solomon, RA, AIA  
 NJ Registered Architect  
 21A101255200

PROPOSED  
 2ND FLOOR ADDITION  
 69 WEST MAIN STREET, LLC  
 8TH DAY CATERERS  
 BLOCK 123 LOT 3  
 BERGENFIELD, NJ

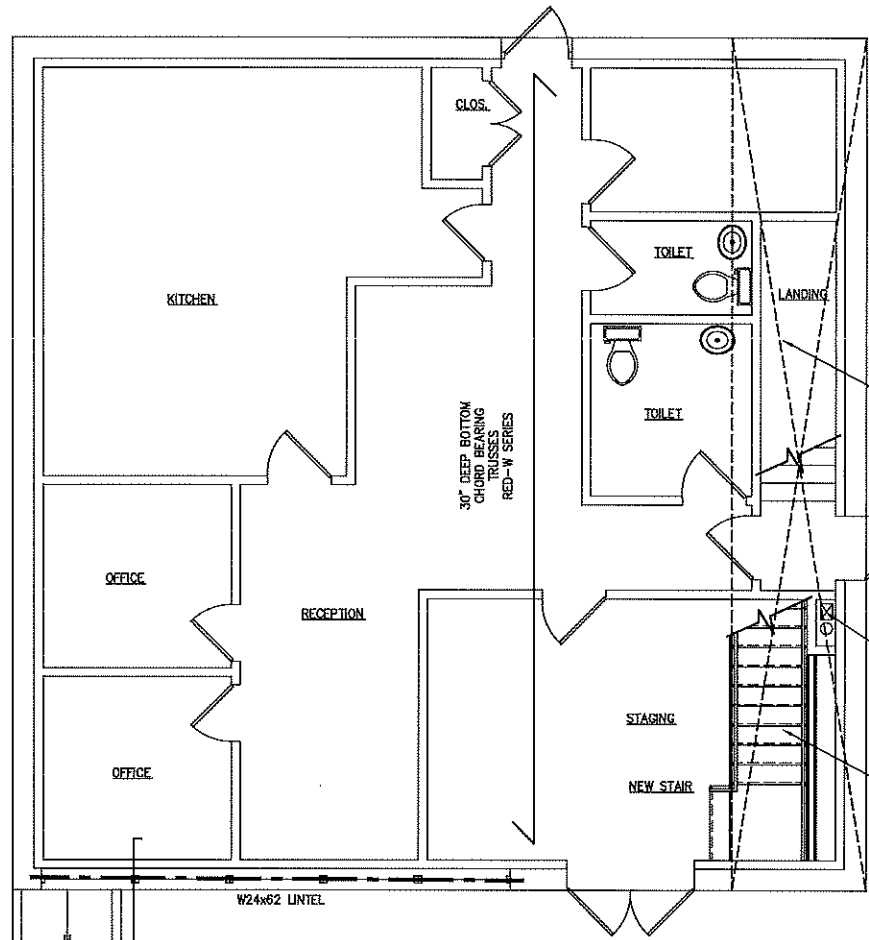
Date: 9/15/2021  
 Drawn By: J.S.  
 Checked By: J.S.  
 Job No: 21-313

Revisions	
1	Framing Revision 10/7/21
2	Unfinished 2nd Flr 1/24/22

Drawing Title:  
 SITE PLAN, ZONING TABLE,  
 PARTITION TYPES, NOTES  
 AND DETAILS

Drawn By:  
 A-1  
 1 of 5

It is a violation of law for any person, unless he or she is acting under the direction of a licensed professional architect, to alter in any way, or to permit the use of an architect to alter, the original architect's plan, specification, or contract documents, or to permit the use of an architect to alter in any way, or to permit the use of an architect to alter, the original architect's plan, specification, or contract documents, or to permit the use of an architect to alter in any way, or to permit the use of an architect to alter, the original architect's plan, specification, or contract documents.



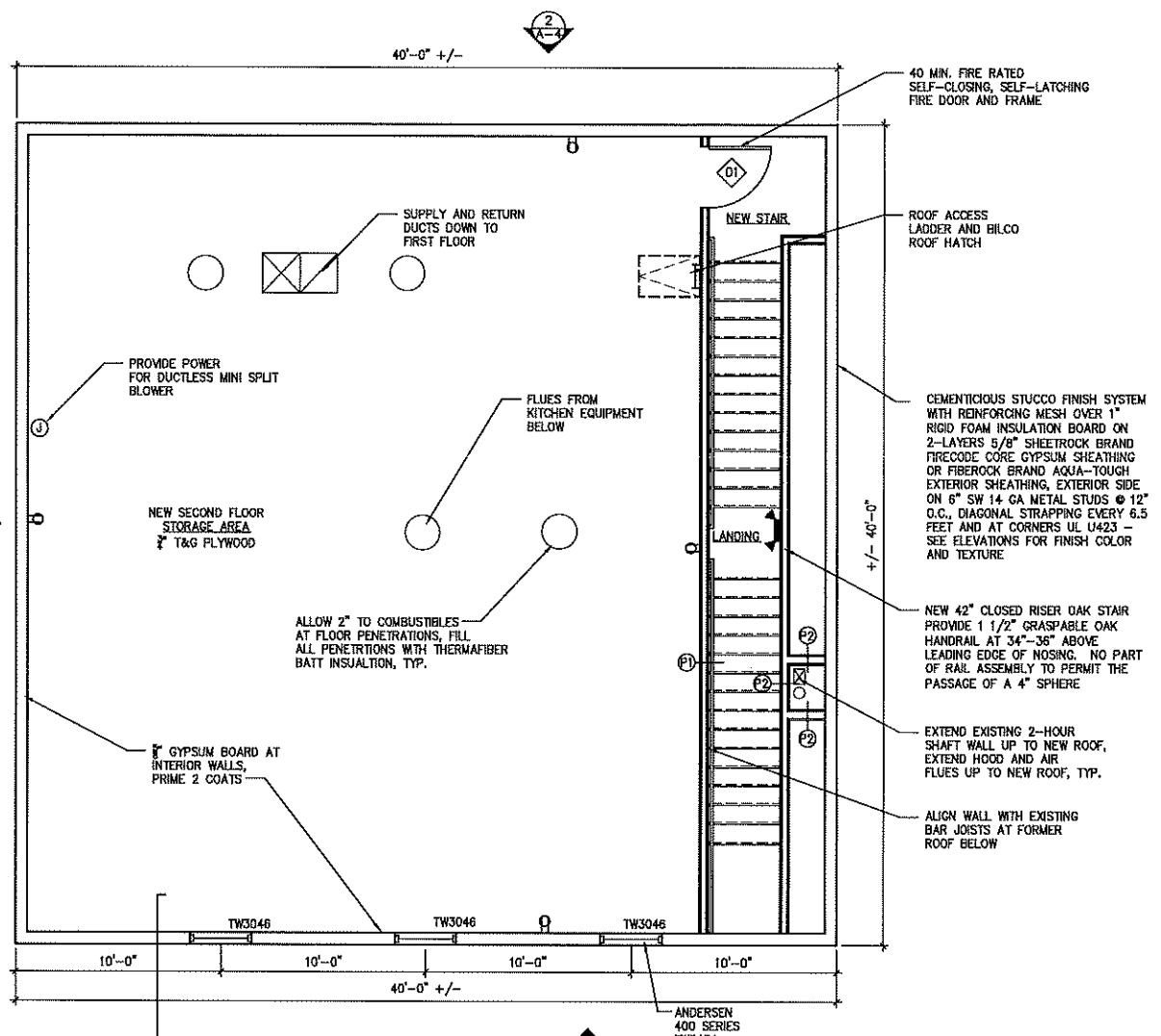
**1 FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- WIRING NOTES:**
- NEC SECTION 518.4. THE FIXED WIRING METHODS SHALL BE METAL RACEWAYS, FLEXIBLE METAL RACEWAYS, NONMETALLIC RACEWAYS ENCASED IN NOT LESS THAN 2" OF CONCRETE, TYPE IM, MC OR AC CABLE. THE WIRING METHOD SHALL ITSELF QUALIFY AS AN EQUIPMENT GROUNDING CONDUCTOR ACCORDING TO 250.118 OR SHALL CONTAIN AN INSULATED EQUIPMENT GROUNDING CONDUCTOR SIZED IN ACCORDANCE WITH TABLE 250.112. EC SHALL REFER TO THE NEC FOR EXCEPTIONS AND ADDITIONAL INFORMATION.
  - IN ADDITION TO THE WIRING METHODS OF 518.4(A), NONMETALLIC-SHEATHED CABLE, TYPE AC CABLE, ELECTRICAL NONMETALLIC TUBING, AND RIGID NONMETALLIC CONDUIT SHALL BE PERMITTED TO BE INSTALLED IN THOSE BUILDING OR PORTIONS THEREOF THAT ARE NOT REQUIRED TO BE OF FIRE-RATED CONSTRUCTION BY THE APPLICABLE BUILDING CODE.
  - ELECTRICAL NONMETALLIC TUBING AND RIGID NONMETALLIC CONDUIT SHALL BE PERMITTED TO BE INSTALLED IN CLUBROOMS, CONFERENCE AND MEETING ROOMS WHERE THE FOLLOWING APPLY:  
THE ELECTRICAL NONMETALLIC TUBING OR RIGID NONMETALLIC CONDUIT IS INSTALLED CONCEALED WITHIN WALLS, FLOORS, AND CEILINGS WHERE THE WALLS, FLOORS AND CEILING PROVIDE A THERMAL BARRIER OF MATERIAL THAT HAS AT LEAST A 15 MINUTE FINISH RATING AS IDENTIFIED IN LISTING OF FIRE-RATED ASSEMBLIES.

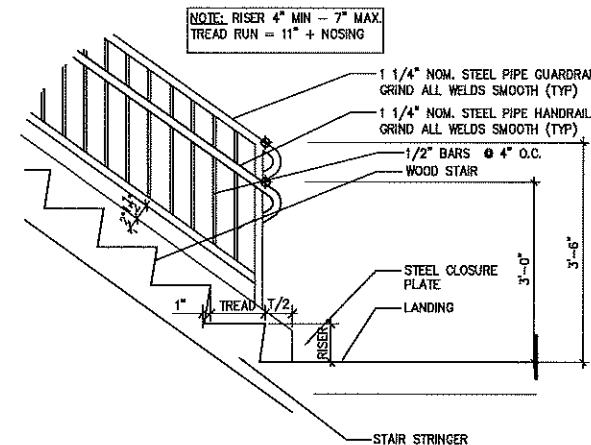
REMOVE METAL DECK AND ROOFING ASSEMBLY THIS AREA, REMOVE BAR JOISTS FOR NEW STAIRWELL OPENING, SEE PLAN

EXISTING HOOD AND AIR FLUES IN SHAFT TO BE EXTENDED UP TO NEW ROOF, TYP.

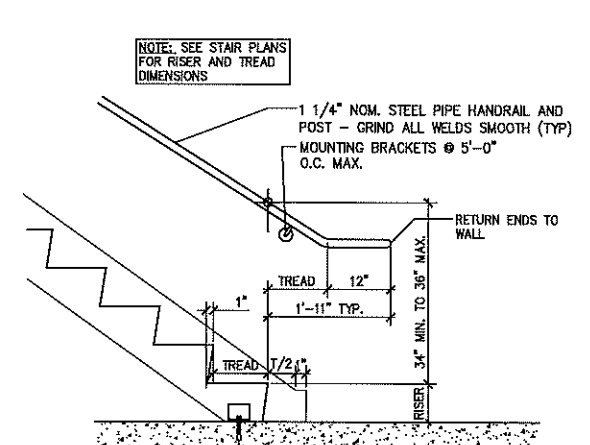
NEW 42" CLOSED RISER OAK STAIR PROVIDE 1 1/2" GRASPABLE OAK HANDRAIL AT 34"-36" ABOVE LEADING EDGE OF NOSING. NO PART OF RAIL ASSEMBLY TO PERMIT THE PASSAGE OF A 4" SPHERE



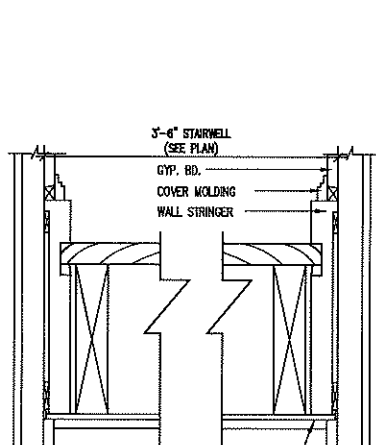
**2 UNFINISHED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



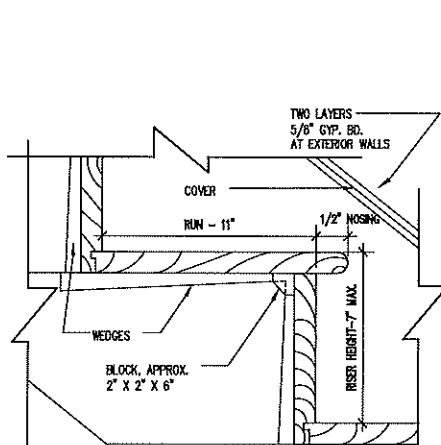
**3 TREAD / RAIL DETAIL @ LANDING**  
SCALE: 3/4" = 1'-0"



**4 HANDRAIL DETAIL-WALL @ BOTTOM RUN**  
SCALE: 3/4" = 1'-0"



**5 TYPICAL STAIR DETAIL**  
SCALE: 3" = 1'-0"



**6 TYPICAL STAIR DETAIL**  
SCALE: 3" = 1'-0"

**ELECTRIC LEGEND**

(S)	HARD-WIRED SMOKE DETECTOR
(H)	HARD-WIRED HEAT DETECTOR
(S)	HARD-WIRED SMOKE AND CARBON MONOXIDE COMBO DETECTOR
⊕	SINGLE POLE WALL SWITCH
⊕	3-WAY SWITCH
⊕	4-WAY SWITCH
⊕	JUNCTION BOX
⊕	RECESSED HI-HAT
⊕	PENDANT LIGHT FIXTURE
⊕	WEATHERPROOF LIGHT FIXTURE
⊕	8'-0" FLUORESCENT LIGHT FIXTURE
⊕	DUPLEX RECEPTACLE TAMPER RESISTANT
⊕	DUPLEX RECEPTACLE (GFI = GROUND FAULT) (WP = WEATHERPROOF) TAMPER RESISTANT
⊕	BROAN OR EQUAL CEILING MOUNTED EXHAUST FAN
⊕	EXTERIOR SPOTLIGHTS ON SWITCH W/ MOTION DETECTOR
⊕	CABLE TV
⊕	TELEPHONE / INTERNET



Jacob Solomon architect, aia  
14-25 plazard suite s.3.5  
fair lawn,nj-07410  
tel-201-797-0294  
fax-201-625-6545  
jsolomon@jsallcnj.com  
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PA Lic. No. RA409200  
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PROPOSED  
**2ND FLOOR ADDITION**  
69 WEST MAIN STREET, LLC  
8TH DAY CATERERS  
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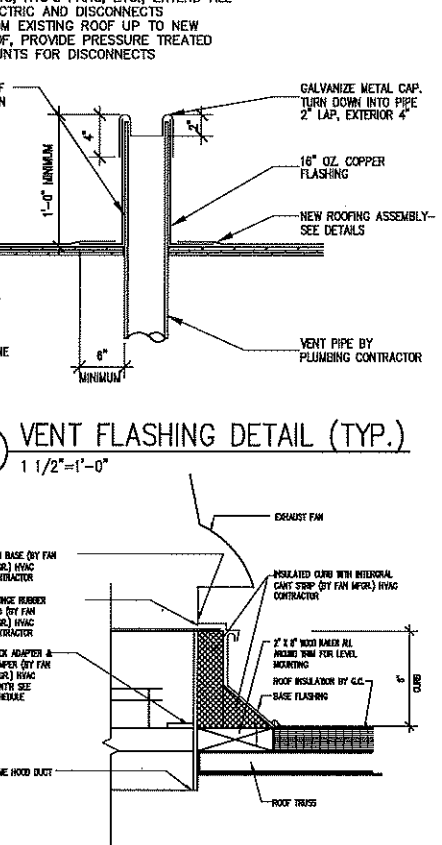
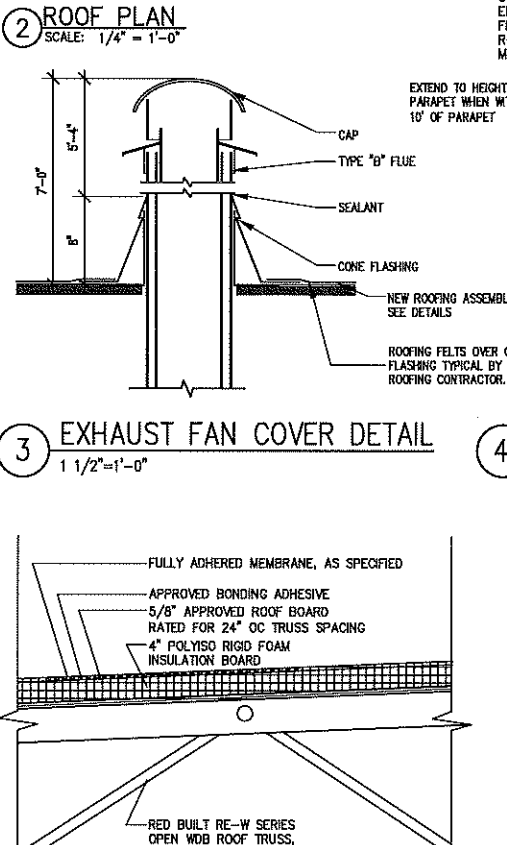
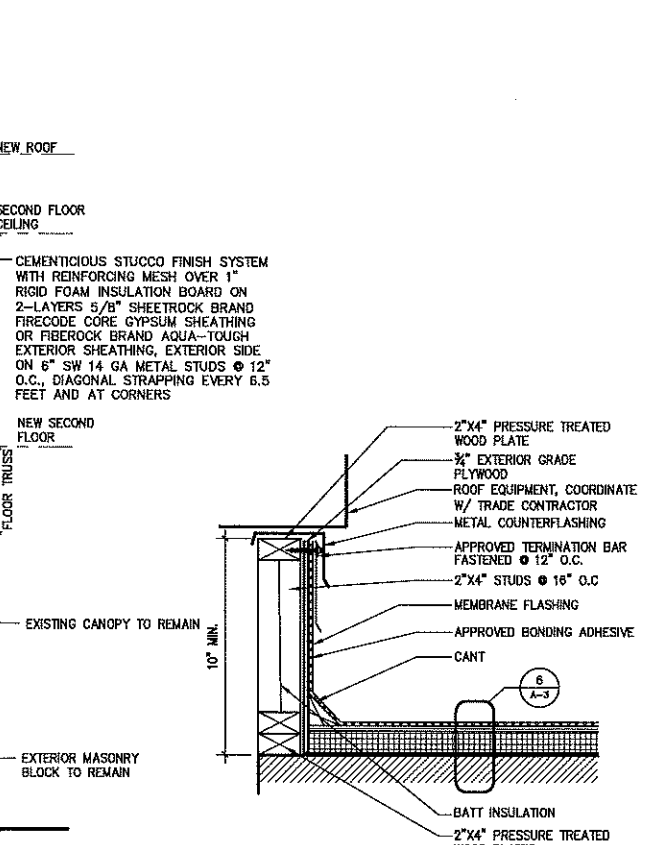
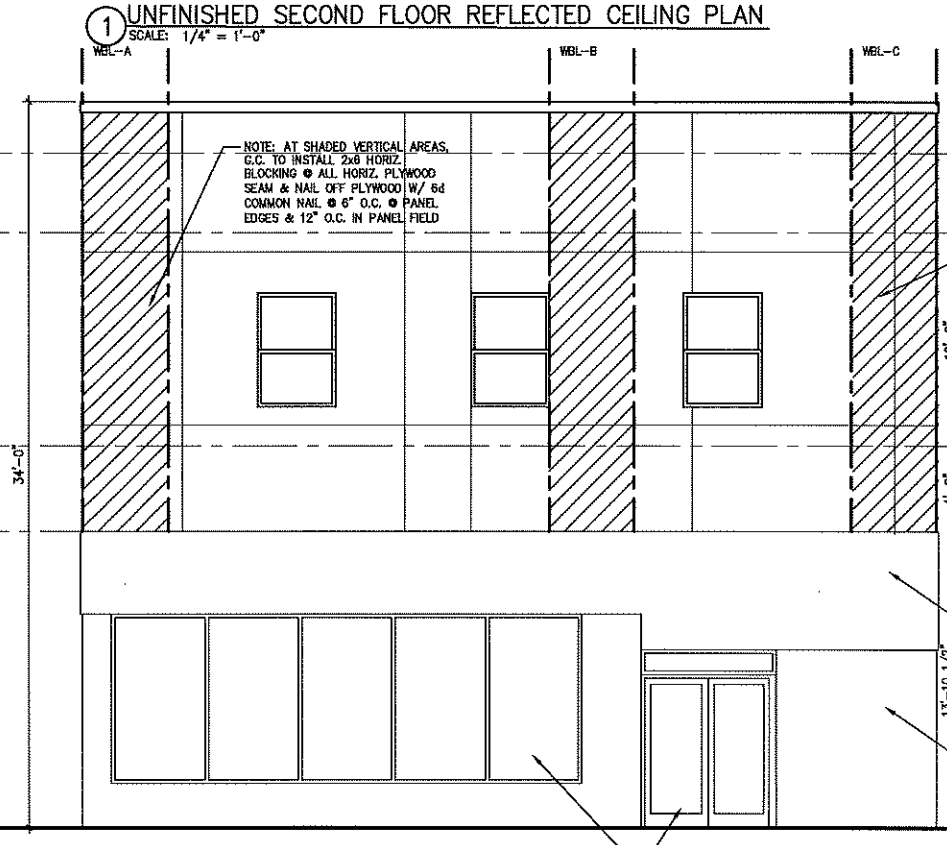
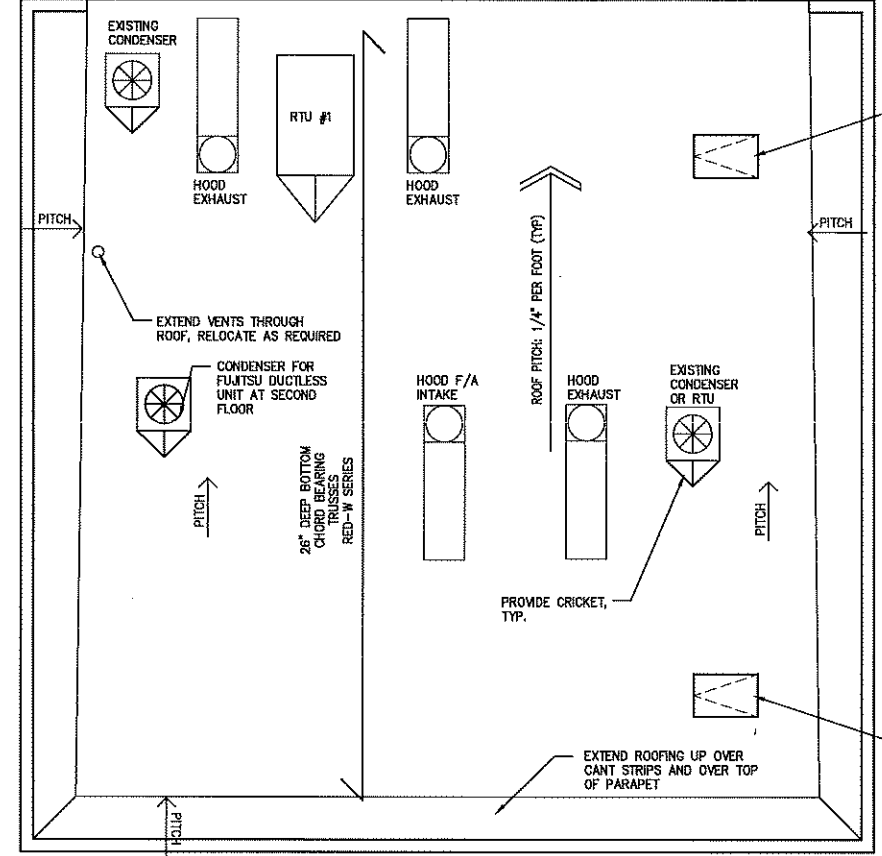
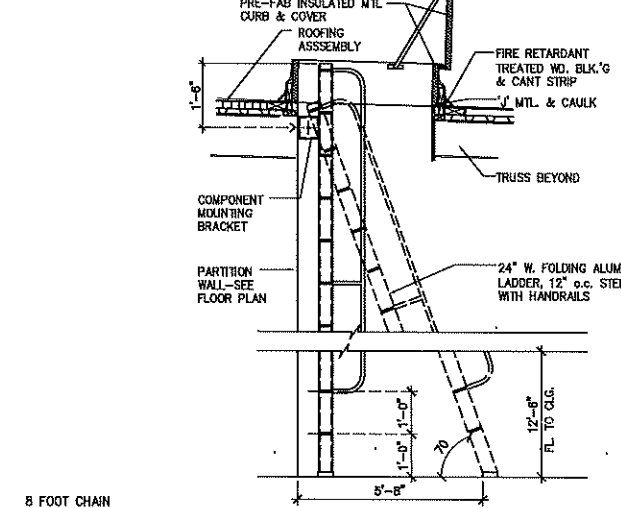
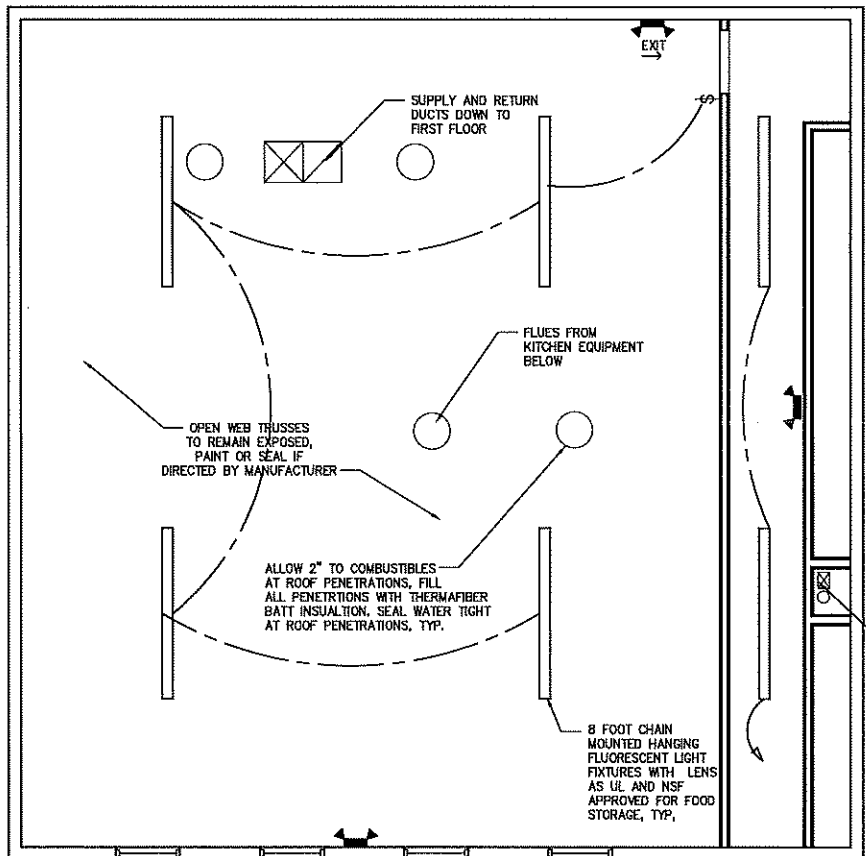
Revisions

1	Framing Revision	10/7/21
2	Unfinished 2nd Flr	1/24/22

Drawing Title:  
FIRST AND SECOND FLOOR PLANS, NOTES AND DETAILS

Drawn No.

A-2



NOTE: COORDINATE LOCATION OF ALL THRU-ROOF PENETRATIONS WITH MECHANICAL, ELECTRICAL AND PLUMBING CONTRACTORS, FLASH AS REQUIRED

NOTE: FOR ALL ROOF MOUNTED CONDENSER UNITS, RTU'S FANS, ETC., EXTEND ALL ELECTRIC AND DISCONNECTS FROM EXISTING ROOF UP TO NEW ROOF. PROVIDE PRESSURE TREATED MOUNTS FOR DISCONNECTS

8 FRONT EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

5 ROOFTOP EQUIPMENT CURB DETAIL  
SCALE: 1 1/2" = 1'-0"

6 TYP ROOFING DETAIL  
SCALE: 1 1/2" = 1'-0"

7 EXHAUST FAN CURB DETAIL  
NOT TO SCALE



Jacob Solomon  
architect, aia  
14-25 plaza rd  
suite s-3-5  
fair lawn-nj-07410  
tel-201-797-0294  
fax-201-625-6545  
jsolomon@jsallcnj.com  
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PROPOSED  
2ND FLOOR ADDITION  
69 WEST MAIN STREET, LLC  
8TH DAY CATERERS  
BLOCK 123 LOT 3  
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Date: 9/15/2021  
Drawn By: J.S.  
Checked By: J.S.  
Job No: 21-313

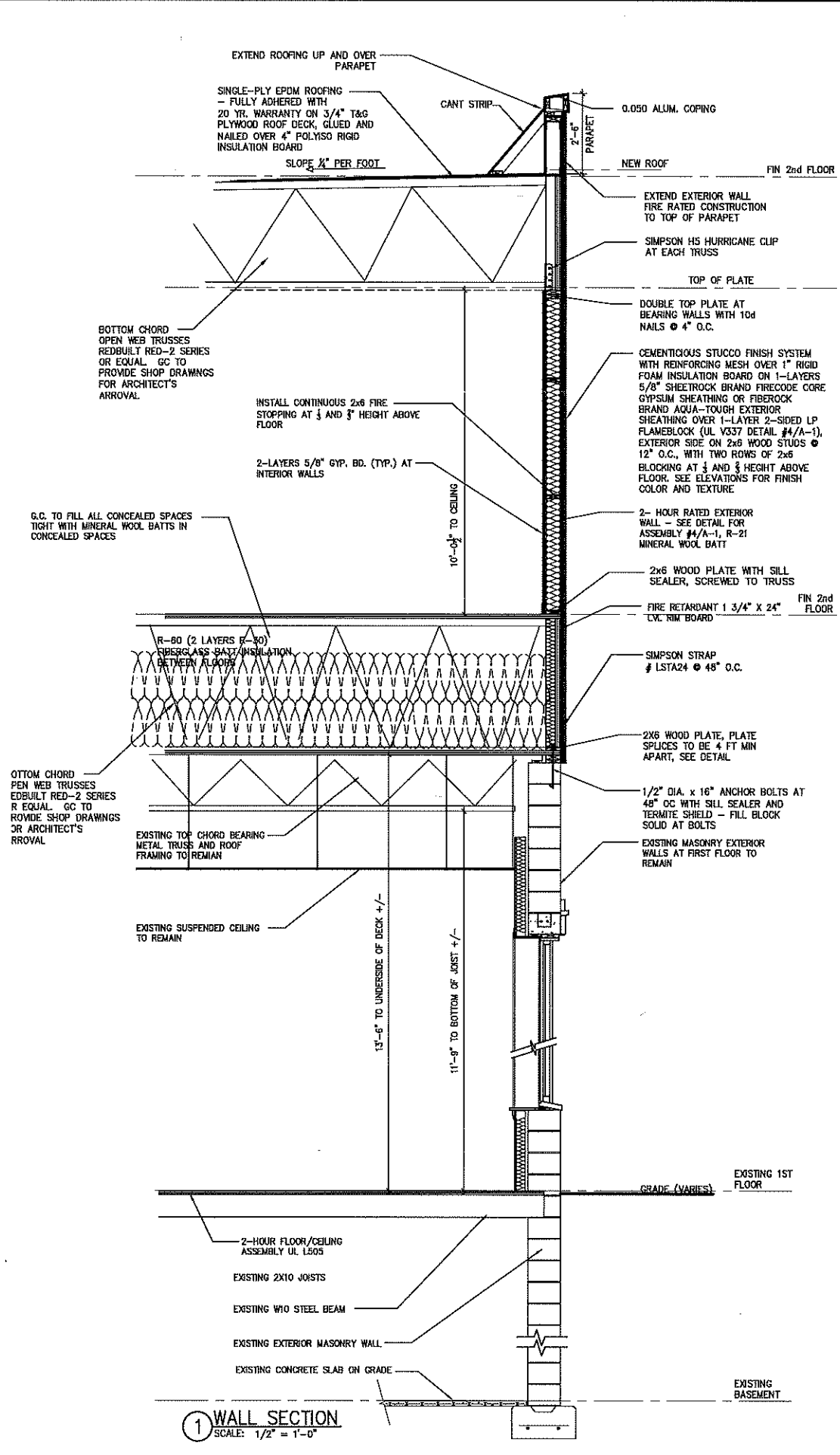
Revisions	
1 Framing Revision	10/7/21
2 Unfinished 2nd Flr	1/24/22

Drawing Title:  
SECOND FLOOR REFLECTED  
CEILING PLAN, ROOF PLAN,  
NOTES AND DETAILS

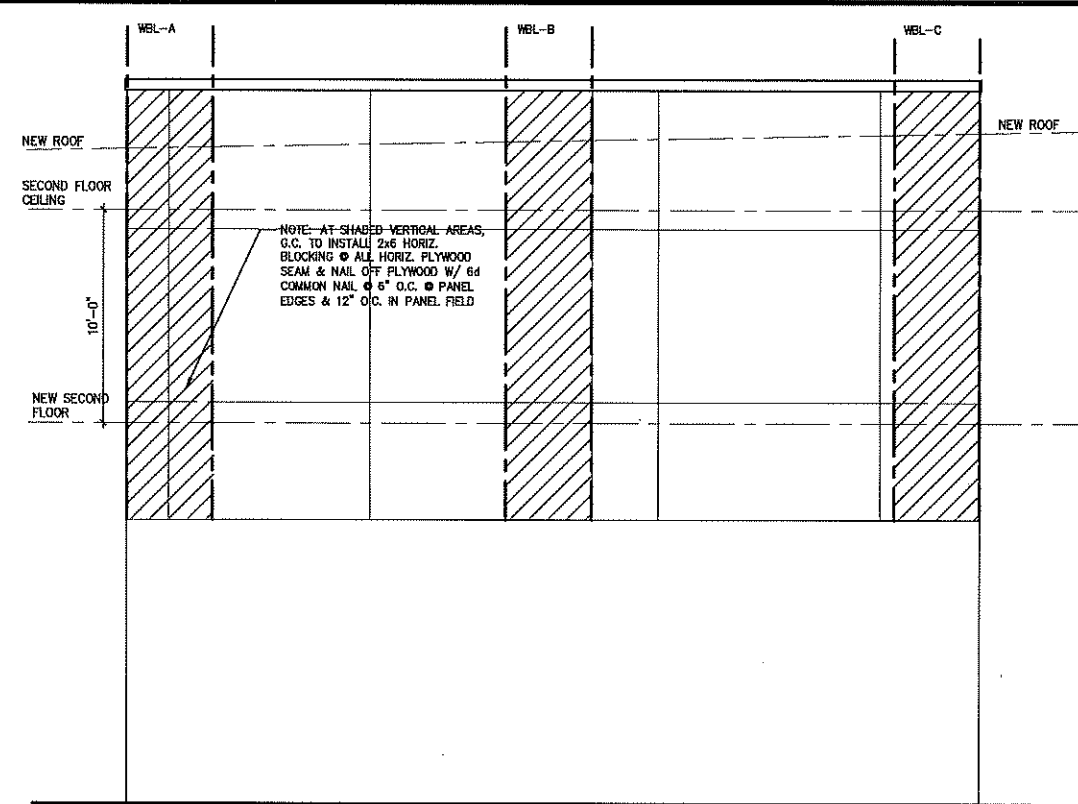
Drawg No.  
A-3  
3 of 5

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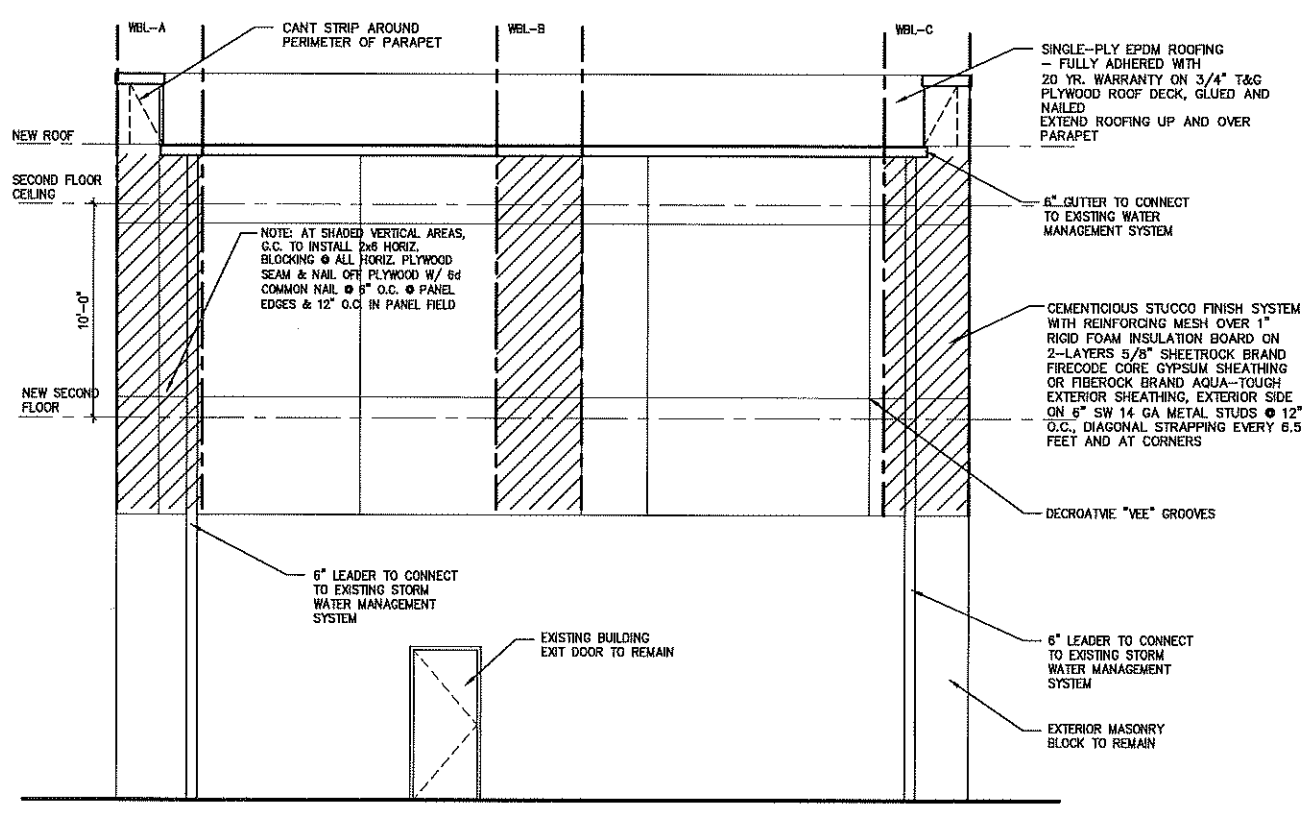
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**1 WALL SECTION**  
SCALE: 1/2" = 1'-0"



**2 LEFT SIDE EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 REAR EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



Jacob Solomon  
architect, aia  
14-25 plaza rd  
suite s-3-5  
fair lawn-nj-07410  
tel-201-797-0294  
fax-201-625-6545  
jsolomon@jsallcnj.com  
Jacob Solomon, AIA  
Principal  
NJ RA 21A101255200  
NY Lic. No. 039906-1  
FL Lic. No. AR98757  
PA Lic. No. RA409200  
www.jsallcnj.com

Jacob Solomon, RA, AIA  
NJ Registered Architect  
21A01255200



PROPOSED  
**2ND FLOOR ADDITION**  
69 WEST MAIN STREET, LLC  
8TH DAY CATERERS  
BLOCK 123 LOT 3  
BERGENFIELD, NJ

Date: 9/15/2021

Drawn By: J.S.

Checked By: J.S.

Job No: 21-313

Revisions	
1	Framing Revision 10/7/21
2	Unfinished 2nd Flr 1/24/22

Drawing Title:  
**WALL SECTION, EXTERIOR ELEVATIONS**

Dwg No.

**A-4**



**0.0 GENERAL NOTES:**

- The General Contractor (G.C.) shall read all General and Specific Notes and be bound to their requirements.
- Each Contractor shall examine the job site before submission of bid to understand the existing condition, construction documents and, if any, violation of building codes. The contractor shall notify the Architect before entering into contract with the owner of any interferences, discrepancies, or violation of existing conditions, construction documents, and existing violation of building codes. Failure to provide notification shall result in the contractor being held responsible to complete all work intent of the construction documents with no additional expense incurred to the owner.
- Should the G.C. find discrepancies, omissions, ambiguities, or conflicts with the construction documents or be in doubt of their meaning after visiting the site or during construction, the Contractor shall immediately bring any questions to the attention of the Architect.
- Verify all dimensions shown on plans at site to insure accurate fitting with the structure. **DO NOT SCALE DRAWINGS!** The G. C. will be held responsible for any incorrect work performed if Architect is not informed of any discrepancies.
- Dimensions shown are nominal to the face of the studs and masonry walls. Dimensions do not include thickness of finish material and furring.
- All work performed shall be in accordance with the latest edition of A.I.A. Document A201, "General Conditions of the Contract for Construction." In the event of any disputes in connection with the work herein, shall be subject to binding arbitration under the rules of the American Arbitration Association.
- All work shall be performed in accordance with all Federal, State, and Local building, electrical, public utility regulations and all other laws or codes having jurisdiction. Any work not conforming to the code will be remedied by the contractor.
- All Contractors shall have and maintain Liability, Property Damage, and Workmen Compensation Insurance. All phases of construction shall comply with all local, state and federal safety laws.
- The Architect shall not be responsible for construction means, methods, techniques, sequences, or procedures, or safety precaution and programs in conjunction with these contract documents.
- All permits and construction fees are to be paid for by the G.C., unless otherwise noted.
- The Contractor shall provide labor, supervision, material, equipment, and accessories and coordinate, procure, fabricate, deliver, erect, or install interface with any new or existing work, start, test, all work as per code and construction documents in order to provide the owner with a complete assembly or system. All material shall be new and free from all defects. All work shall be performed in a competent workman like manner acceptable with modern practices.
- All workmanship and material shall be guaranteed for one year from date of substantial completion of construction work performed.
- Provide all necessary barricades and furnish all necessary lights and warning signs to protect all work, adjacent properties, driveways walks, steps, etc. during and after construction until final acceptance or Certificate of Occupancy.
- The G.C. will be responsible for the disposal of all refuse and construction debris and be responsible for cleaning soiled spots on all surfaces or replace where cleaning has failed as dictated by the owner.
- The G.C. will repair all damages caused by him or his subcontractors (including paint marks, scrapes, etc.) and ensure that all surfaces are left clean and orderly and acceptable to the owner ready for occupancy.
- The G.C. shall provide and coordinate blocking for all equipment, systems, materials, or accessories.
- The G.C. shall provide flashing, weather stripping at all exterior opening heads, jambs, and sills.

**5.1 METAL FRAMING**

Light weight metal framing: following all ASTM/ANSI standard for physical properties of all studs, channels, furring, clips and accessories. Galvanized studs with G-60 coating, 20 gauge with spacing of 16" on center unless otherwise noted. All interior partitions shall extend 6" above ceiling, and every third stud connected to underside of roof or deck, unless otherwise noted.

**6.1 ROUGH CARPENTRY**

**Interior & Exterior Plywood:**  
Plywood for roof deck shall be APA, CDX Plyscore, Fortified Glue line, top and bottom grain laid perpendicular to roof framing; Thickness as called for on drawings  
Plywood for exterior wall sheathing shall be Grade B-C-EXT APA, Exposure 1; Thickness & direction relative to framing as called for on drawings  
Plywood for interior wall substrate shall Grade C-D INT APA unless otherwise noted on drawings

**Wall Framing:**  
Rough lumber for framing and rough carpentry shall be Douglas Fir-Larch No. 2 or approved equal free from loose or large knots, large shakes, excess sap or other defects whereby its strength may be impaired

Rough hardware shall include but not be limited to: bolts, plates, nails, anchors, brackets, spikes and other fasteners. Any hardware exposed to weather shall have suitable protective finish; all exterior nails shall be galvanized

**6.2 FINISH CARPENTRY**

Adjustable shelving in service area, kitchen, and office and office desk top to be 3/4" particle board, finished with plastic laminate on all surfaces including top, bottom, and all edges. Office desk to be 3/4" INT-APA A-D plywood w/ 1 1/2" x 3/4" pine edge finished w/ plastic laminate over top and edge. Coordinate wall blocking and shelf supports as required.  
Plastic Laminate Manufacturer: Formica, Color: #459-58 (Bright White)

**7.240 EXTERIOR INSULATION & FINISH SYSTEM (STUCCO)**

Manufacturer: Dryvit Systems Inc., West Warwick, RI or approved equal (see National Accounts for contact information)  
Insulation Board: Expanded polystyrene (EPS) meeting the E.I.F.S. manufacturer's specification; thickness as called for on drawings  
Finish Colors: See Exterior Elevations  
Finish Texture: Sandblast Style, Medium Texture, Standard DPR (Dirt Pickup Resistance)  
See Wall Sections / Details for appropriate substrate & moisture control  
Follow Manufacturer's recommendations, preparation instructions & storage / handling requirements, installation requirements

**7.531 PVC MEMBRANE ROOFING**

Manufacturer: Duro-Last Roofing, Saginaw, MI or approved equal  
Color: White; Attachment: Mechanically Fastened  
Thickness & R-Value of rigid insulation shall be as called for on drawings  
Provide 30" x 30" walkway pads in traffic areas as shown on the roof plan  
Provide cap sheet around fryer exhaust fan (when present) for 3 feet in all directions  
Provide a 15 year manufacturer's written warranty against defects in workmanship & material and a G.C. 2 (two) year warranty  
Follow Manufacturer's recommendations, preparation instructions & storage / handling requirements, installation requirements

**8.1 METAL DOORS**

Doors shall be hot dipped galvanized at exterior with one shop primed coat of gray. Manufacturer: Steelcraft No. L-18 Provide weather stripping at exterior doors.

**8.12 METAL FRAMES**

All hollow metal frames shall be 16 ga. hot dipped galvanized, or frame combination frame and flat rim with mitered corners, welded full length for fit and ground smooth. Size of frame to be determined by wall construction system. Install (3) three anchors in each jamb for anchoring. For proper alignment, steel angle spreaders shall be welded at bottom of floor bucks. Drill frames for door silencers. Shop prime oil frames one coat, gray

**8.21 WOOD DOORS**

Wood doors shall be 1 3/4" commercial grade door with five-ply Timpblend particleboard core - Type II glue bond, maple veneer with clear finish, side edges to be 1 1/8", top and bottom edges to be 2-3/8" mill. option species as manuf. by Weyerhaeuser Company or equal.

**FINISH HARDWARE**

- The Contractor shall furnish and install all finish hardware. Hardware to be furnished shall be best quality equal to Schlage Manufacturing Company or approved equal. Hardware supplier shall wrap hardware in separate packages, complete with trimmings, screws, etc., distinctly labeled with item number and door number for each opening.
- All costs of finish hardware are to be included in the Contractor's proposal. All installation costs are assumed as already part of the bid. Should the cost of hardware as selected exceed the allowance sum, the Owner is to pay the General Contractor the difference, but should the cost be less than the allowance sum, the Contractor will credit the Owner with the difference. All locks to be master keyed and two copies of all keys be supplied to the Owner.
- Butts for 1-3/4 in. doors shall be 4-1/2 in., 1-3/8 in. shall be 3-1/2 in. Interior doors shall have approved wall bumpers or floor stops equal in quality to that manufactured by Baldwin Hardware Manufacturing Co.
- Exterior doors - cylindrical locks with thumb-turn dead bolt
- Interior doors - cylindrical locks, bedrooms and baths to have push button lock with emergency key access
- Garage doors - electric openers with keyless entry pads
- All closets to have poles and shelves as shown on plans.
- Linen closets to have five (5) fixed melamine shelves.

**WINDOWS**

- All windows shown on floor plan as manufactured by Andersen 400 Series. Interior to be wood and stained or painted at owner's option. Exterior to be white vinyl clad. Provide screens at operable window units. Provide all hardware for operation, and standard hardware, color as selected by Owner. High performance low e sun glazing. Tempered glazing at all windows with sills less than 18" above finished floor and within 36" of door swing, all windows in tub areas and stairwells.

**8.6 SADDLE**

Marble threshold shall be grade A, free from crack, chips, stains, or other defects; uniform in coloring.  
Color: White

**9.25 GYPSUM BOARD MATERIALS**

Standard gypsum board shall be ANSI/ASTM C36; 5/8" thick; max. permissible length, square cut ends, tapered edges.  
Fire rated gypsum board shall be ANSI/ASTM C36, U.L. rated; 5/8" thick, max. permissible length, square cut ends, tapered edges.  
Moisture resistant gypsum board shall be ANSI/ASTM C630; 5/8" thick; max. permissible length, square cut ends, tapered edges.

**9.33 CERAMIC AND QUARRY TILE**

Refer to drawings for color, pattern, and location of tiles.  
Ceramic Tile: Refer to Floor Finish Plan in drawings.  
Tile, Base, and Accessories: 12" x 12" x 3/16" with 1/4" joint  
Base to be vinyl cove base - see Floor Finish Schedule  
Alternate base to be ceramic tile (cove or standard - see Floor Finish Schedule and Tile Base Details)  
Color(s): Refer to Floor Finish Plan and Finish Material Schedule in dwgs.  
Distributor: Creative Materials Corp. (see National Account Information)  
Quarry Tile: Refer to Floor Finish Plan in drawings.  
Tile, Base, and Accessories: 6" x 6" x 3/8" with 1/4" joint  
Color: Refer to Floor Finish Plan and Finish Material Schedule in dwgs.  
Distributor: Creative Materials Corp. (see National Account Information)

**Mortar and Grout:**  
Latex Portland Cement Mortar, #280 thinsset floor mix by Laticrete, gray with #40 acrylic additive. Five (5) gallons acrylic additive per three (3) bags of floor mix. Floor mix covers 50 sq. ft.  
Grout for all areas to be #9999628057 Cocoa prism by Daltile. Use Laticrete 1776 grout admix plus - one two (2) gallon portion grout mix per four bags of grout.

**Mortar and Grout (Alternate for wood subfloor):**  
Scrape all loose debris from floor, clean and prepare floor as required for new tile installation. Provide a mortar base of "Premium Flexible Latex Cement" - KERALASTIC / KERABOND Prod. Codes: KER 101 or 102 & 103, and also "Polymer - Modified SANDED Grout", series KER 200 or 800 with coloring to match Dunkin' Brands standard grout colors.  
Manufacturer: "MAPEI", Old Bridge, NJ  
Align joints at right angles to each other forming 90 degree intersections and returns. Cut and drill tile without damage to tile finish. Grind cut edges. Locate tile 1/4" to electrical outlets, piping, fixtures and other penetrations so that plates, collars or covers overlap tile. Caulk all penetrations. Install tile on base of front and rear casework.

Do not soak tiles. Provide pressure to ensure 100% contact with mortar bed with no voids. Align face of tile with adjacent tiles. Tile without backing sheets to be set with joint sizes as recommended by manufacturer. Tolerance not to exceed 1/32". Allow tile to set for 48 hours minimum before grout is applied. Remove all spacers and clean joints of tile to full depth before grouting. Fill all joints of tiles flush with surface. Fill all gaps. Mortar is not to show thru grouted joints. Finish to be uniform in color, smooth, absent of voids, and level. Verify need of sealing tile with manufacturer before grouting.

Flooring is to cure for 72 hours minimum without traffic. G.C. is responsible for any untimely worn, cracked, or uplifted tilework.  
Remove all debris from face of tile. Flooring is to be washed with mild detergent and potable water to owners satisfaction. Acid or acid base cleaners are not permitted.

Tile cove base installed with masonry back up in accordance with ANSI A108.5-1967. Tile cove base installed with gypsum wall board back-up in accordance with ANSI A108.4-1968.

**9.390 CEMENT BOARD**

Manufacturer: U.S. Gypsum or approved equal  
Model: Durock Interior Cement Board  
Thickness: 1/2" unless otherwise noted on drawings  
Width: 36"  
Fasten with U.S.C. tile backer board screws, fill joints w/ latex fortified Portland cement mortar & tape all joints w/ Durock Interior Tape. Install in accordance w/ Manufacturer's instructions & as called for on drawings

**9.51 ACOUSTICAL CEILING**

Refer to drawings for location and type of ceiling tile. Also provide hold clips in vestibule or as required.  
Suspended ceiling tile #1: (All Public Areas)  
Manufacturer: Armstrong World Industries  
Model: Second Look II 1761 WH  
Size: 24" x 48" Color: White  
Suspended ceiling tile #2: (2nd Floor Office)  
Manufacturer: Armstrong World Industries  
Model: Non-directional mineral fiber ceiling tile  
Size: 24" x 24" Color: #870 White  
Suspension grid system:  
Size: 24" x 48" and 24" x 24"  
Style: Exposed suspension member and perimeter metal angle are heavy duty with structural tees and #12 ga. galv. wire spaced 4 ft. on center parallel to fluorescent lighting fixtures.  
Color: White  
See drawings for direction and location of grid.

**9.9 PAINT**

All surfaces, interior and exterior, shall receive (2) two coats of paint over primer. All surfaces are to be prepared for painting by washing, scraping, wire brushing, and/or sanding. Paint shall be applied only to surfaces which are dry and free from dirt, grease, oil, rust, or loose material, in proper climate conditions and as per manufacturer's recommendations.  
Manufacturer: Benjamin Moore (alt. is Sherwin Williams, see drawings)  
Color: See Finish Material Schedule, Room Finish Schedule and Interior Elevations on dwgs.

**NEW BUILDING - EXTERIOR FINISH SCHEDULE**

- A. Doors and Trim**
- Back Door  
Galvanized Iron, New  
1st Coat: S-W Galvite HS, B50WZ30 (7 mils wet, 4.5 mils dry) or M04 Acrylic Metal Primer (Benjamin Moore)  
2nd Coat: S-W Steel Master 9500 30% Silicone Alkyd, B56-300 Series or M21 Silicone Alkyd Gloss (Benjamin Moore)  
3rd Coat: S-W Steel Master 9500 30% Silicone Alkyd, B56-300 Series (5 mils. wet, 3 mils. dry per coat) or M21 Silicone Alkyd Gloss (Benjamin Moore)
  - Aluminum Trim  
1st Coat: S-W DTM Wash Primer, B71Y1 (3.4 mils. wet, 0.7 mils. dry) or M04 Acrylic Metal Primer or M07 Universal Metal Primer (Benjamin Moore)  
2nd Coat: S-W Steel Master 9500 30% Silicone Alkyd, B56-300 Series or M21 Silicone Alkyd Gloss (Benjamin Moore)  
3rd Coat: S-W Steel Master 9500 30% Silicone Alkyd, B56-300 Series (5 mils. wet, 3 mils. dry per coat) or M21 Silicone Alkyd Gloss (Benjamin Moore)
- B. INTERIOR PAINT**
- Doors and Trim
- Galvanized Iron, New  
1st Coat: S-W DTM Acrylic Primer/Finish, B66W1 (6 mils wet, 3 mils dry) or M04 Acrylic Metal Primer (Benjamin Moore)  
2nd Coat: S-W DTM Acrylic Semi-Gloss, B66 Series or M29 DTM Acrylic Semi Gloss (Benjamin Moore)  
3rd Coat: S-W DTM Acrylic Semi-Gloss, B66 Series (6 mils wet, 3 mils dry) or M29 DTM Acrylic Semi Gloss (Benjamin Moore)
- Wood, New  
Use three sealant coats of Sherwin Williams #A66 Series waterborne polyurethane semi-gloss or gloss over Sherwin Williams stain mix.
- C. Walls**
- Align joints at right angles to each other forming 90 degree intersections and returns. Cut and drill tile without damage to tile finish. Grind cut edges. Locate tile 1/4" to electrical outlets, piping, fixtures and other penetrations so that plates, collars or covers overlap tile. Caulk all penetrations. Install tile on base of front and rear casework.

**10.536 AWNING FABRIC**


Awnings as indicated on the drawings shall be constructed of awning fabric  
Supplier: JM Commercial Graphics, Arion or Cooley  
Colors: See Finish Material Schedule and Exterior Elevations  
Overlay protective film: 3640-114-HA (hand applied) as required  
Awnings to be externally illuminated - refer to Exterior Elevations

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jacob solomon  
architect, aia  
14-25 plaza rd  
suite s-3-5  
fair lawn-nj-07410  
tel-201-797-0294  
fax-201-625-6545  
jsolomon@jsallcnj.com  
Jacob Solomon, AIA  
Principal  
NJ RA 21A101255200  
NY Lic. No. 039906-1  
FL Lic. No. AR98757  
PA Lic. No. RA409200  
www.jsallcnj.com

Jacob Solomon, RA, AIA  
NJ Registered Architect  
21A101255200



PROPOSED  
2ND FLOOR ADDITION  
69 WEST MAIN STREET, LLC  
8TH DAY CATERERS  
BLOCK 123 LOT 3  
BERGENFIELD, NJ

Date: 9/15/2021

Drawn By: J.S.

Checked By: J.S.

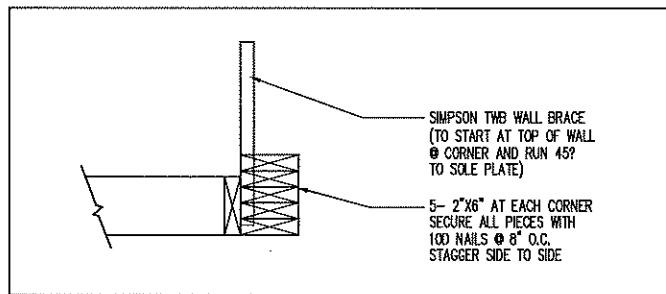
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2	Unfinished 2nd Flr 1/24/22

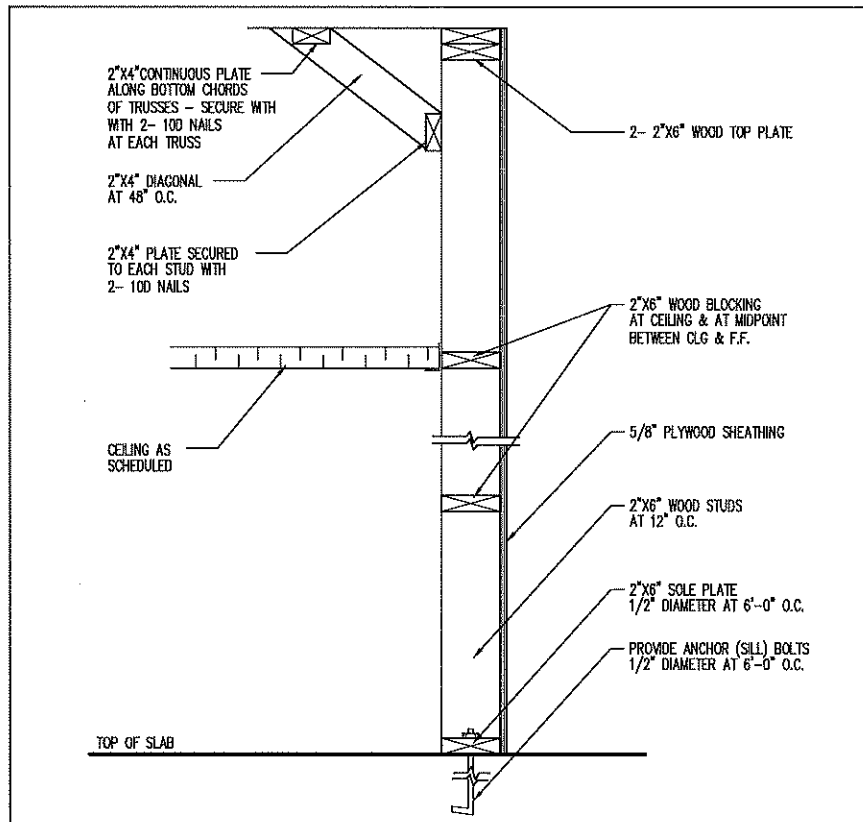
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PERFORMANCE SPECIFICATIONS

Dwg No.  
**A-5**  
5 of 5

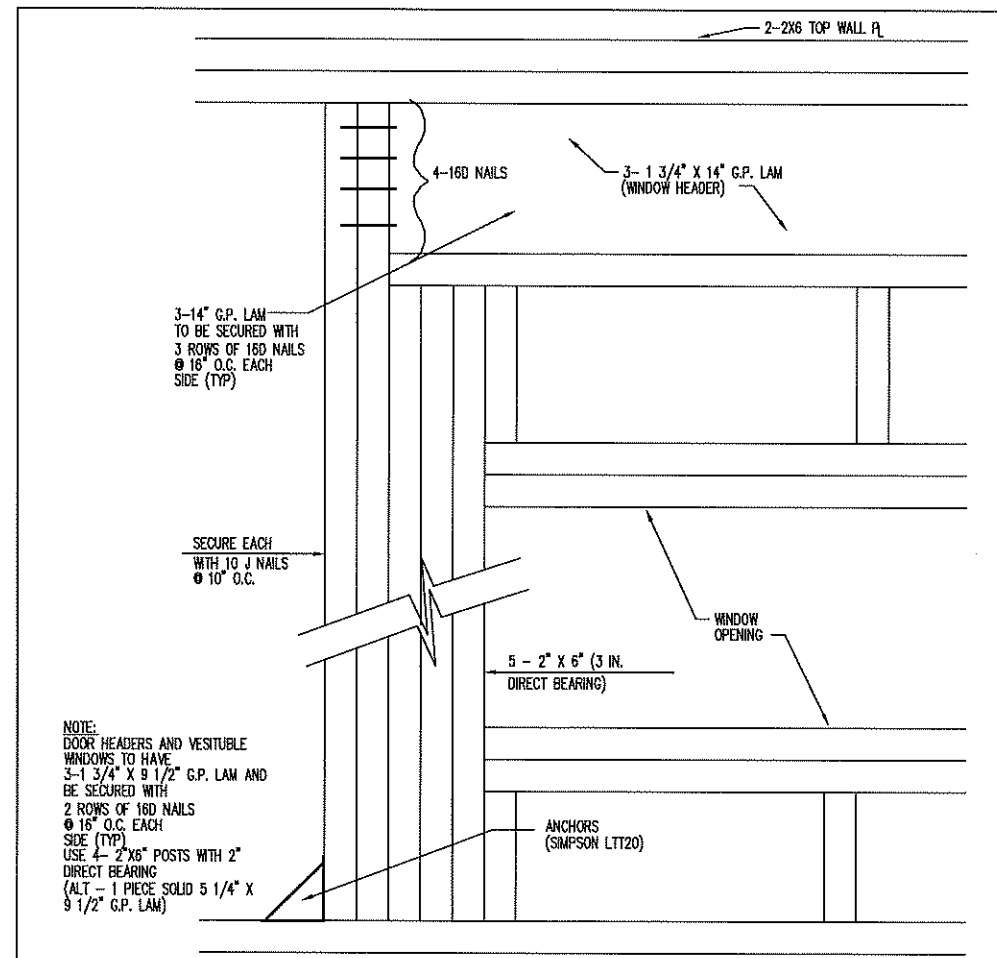
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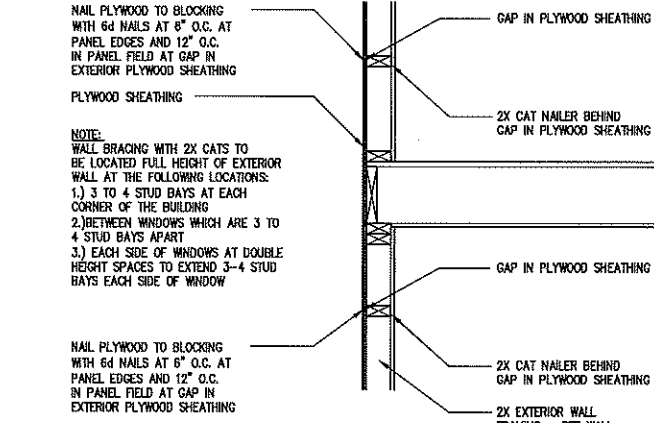
**6 CORNER POST DETAIL**  
SCALE: NONE  
WALLBRAC



**4 WALL BRACING DETAIL**  
SCALE: NONE  
WALLBRAC



**5 WINDOW FRAMING DETAIL**  
SCALE: NONE



**5 SCHEMATIC WALL BRACING DIAGRAM**  
SCALE: 1" = 1'-0"

NOTE:  
WALL BRACING WITH 2X CATS TO BE LOCATED FULL HEIGHT OF EXTERIOR WALL AT THE FOLLOWING LOCATIONS:  
1.) 3 TO 4 STUD BAYS AT EACH CORNER OF THE BUILDING  
2.) BETWEEN WINDOWS WHICH ARE 3 TO 4 STUD BAYS APART  
3.) EACH SIDE OF WINDOWS AT DOUBLE HEIGHT SPACES TO EXTEND 3-4 STUD BAYS EACH SIDE OF WINDOW



Jacob Solomon  
architect, aia  
14-25 plaza rd  
suite s-305  
fair lawn-nj-07410  
tel-201-797-0294  
fax-201-625-6545  
jsolomon@jsallcnj.com  
Jacob Solomon, AIA  
Principal  
NJ RA 21A101255200  
NY Lic. No. 039906-1  
FL Lic. No. AR88757  
PA Lic. No. RA409200  
www.jsallcnj.com

Jacob Solomon, RA, AIA  
NJ Registered Architect  
21A101255200  
*Jacob Solomon*

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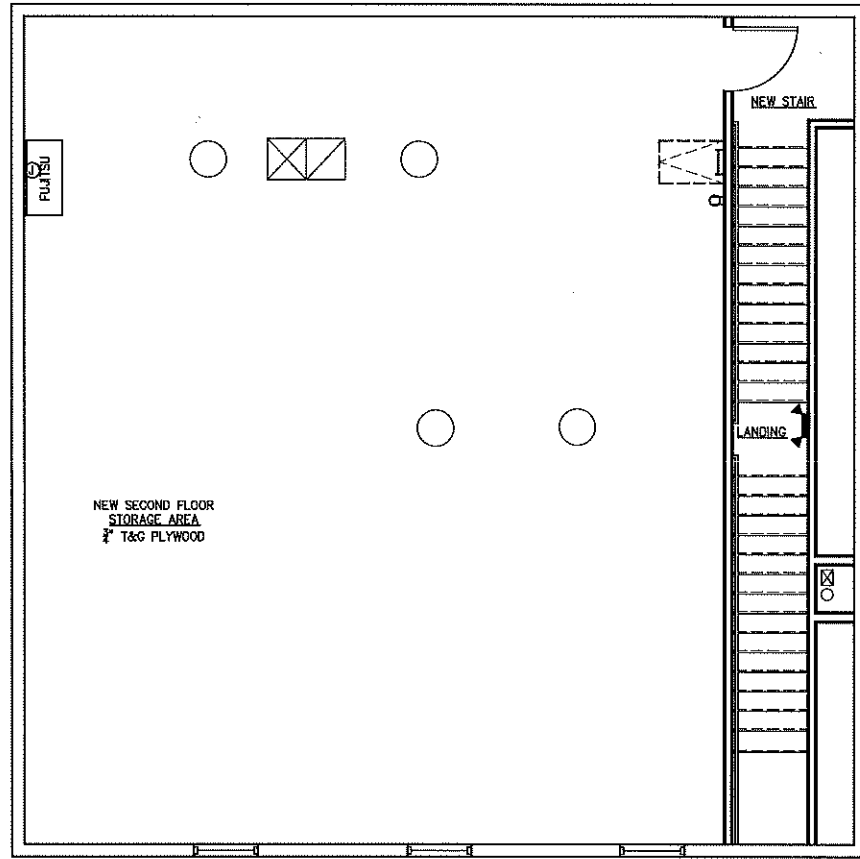
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Revisions		
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2	Unfinished 2nd Flr	1/24/22

Drawing Title:  
TYPICAL LIGHT GAUGE  
FRAMING DETAILS

Draw No.  
S-1

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1 SECOND FLOOR MECHANICAL PLAN  
SCALE: 1/4" = 1'-0"

**FUJITSU SUBMITTAL SHEET**  
Inverter Drive Heat Pump 9,000 BTU Single Zone High SEER Wall Mounted System

Job Name:		Date:	
Location:		Contractor:	
Engineer:		Design No.:	
Submitted To:		Drawing No.:	
Submitted By:			
Reviewed By:			

**PRODUCT FEATURES**

Area/Dimensions: 24.0 x 30.0, 30.0 x 36.0  
 Installation: Wall Mount  
 Maximum Heat Load: 9,000 BTU  
 Backflow: None  
 Auto Restart: Yes  
 Energy Saver: Yes  
 Energy Saving Program (ESP): Yes  
 Modulating Burner: Yes  
 Outdoor Unit: 24.0 x 30.0

**SECTION 41210 - MECHANICAL**

1. Furnace, 9,000 Btu/hr., single zone, high SEER, wall mounted, inverter drive heat pump, 24.0 x 30.0, 30.0 x 36.0, 36.0 x 48.0, 48.0 x 60.0, 60.0 x 72.0, 72.0 x 84.0, 84.0 x 96.0, 96.0 x 108.0, 108.0 x 120.0, 120.0 x 132.0, 132.0 x 144.0, 144.0 x 156.0, 156.0 x 168.0, 168.0 x 180.0, 180.0 x 192.0, 192.0 x 204.0, 204.0 x 216.0, 216.0 x 228.0, 228.0 x 240.0, 240.0 x 252.0, 252.0 x 264.0, 264.0 x 276.0, 276.0 x 288.0, 288.0 x 300.0, 300.0 x 312.0, 312.0 x 324.0, 324.0 x 336.0, 336.0 x 348.0, 348.0 x 360.0, 360.0 x 372.0, 372.0 x 384.0, 384.0 x 396.0, 396.0 x 408.0, 408.0 x 420.0, 420.0 x 432.0, 432.0 x 444.0, 444.0 x 456.0, 456.0 x 468.0, 468.0 x 480.0, 480.0 x 492.0, 492.0 x 504.0, 504.0 x 516.0, 516.0 x 528.0, 528.0 x 540.0, 540.0 x 552.0, 552.0 x 564.0, 564.0 x 576.0, 576.0 x 588.0, 588.0 x 600.0, 600.0 x 612.0, 612.0 x 624.0, 624.0 x 636.0, 636.0 x 648.0, 648.0 x 660.0, 660.0 x 672.0, 672.0 x 684.0, 684.0 x 696.0, 696.0 x 708.0, 708.0 x 720.0, 720.0 x 732.0, 732.0 x 744.0, 744.0 x 756.0, 756.0 x 768.0, 768.0 x 780.0, 780.0 x 792.0, 792.0 x 804.0, 804.0 x 816.0, 816.0 x 828.0, 828.0 x 840.0, 840.0 x 852.0, 852.0 x 864.0, 864.0 x 876.0, 876.0 x 888.0, 888.0 x 900.0, 900.0 x 912.0, 912.0 x 924.0, 924.0 x 936.0, 936.0 x 948.0, 948.0 x 960.0, 960.0 x 972.0, 972.0 x 984.0, 984.0 x 996.0, 996.0 x 1008.0, 1008.0 x 1020.0, 1020.0 x 1032.0, 1032.0 x 1044.0, 1044.0 x 1056.0, 1056.0 x 1068.0, 1068.0 x 1080.0, 1080.0 x 1092.0, 1092.0 x 1104.0, 1104.0 x 1116.0, 1116.0 x 1128.0, 1128.0 x 1140.0, 1140.0 x 1152.0, 1152.0 x 1164.0, 1164.0 x 1176.0, 1176.0 x 1188.0, 1188.0 x 1200.0, 1200.0 x 1212.0, 1212.0 x 1224.0, 1224.0 x 1236.0, 1236.0 x 1248.0, 1248.0 x 1260.0, 1260.0 x 1272.0, 1272.0 x 1284.0, 1284.0 x 1296.0, 1296.0 x 1308.0, 1308.0 x 1320.0, 1320.0 x 1332.0, 1332.0 x 1344.0, 1344.0 x 1356.0, 1356.0 x 1368.0, 1368.0 x 1380.0, 1380.0 x 1392.0, 1392.0 x 1404.0, 1404.0 x 1416.0, 1416.0 x 1428.0, 1428.0 x 1440.0, 1440.0 x 1452.0, 1452.0 x 1464.0, 1464.0 x 1476.0, 1476.0 x 1488.0, 1488.0 x 1500.0
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**FUJITSU SUBMITTAL SHEET**  
Inverter Drive Heat Pump 9,000 BTU Single Zone High SEER Wall Mounted System

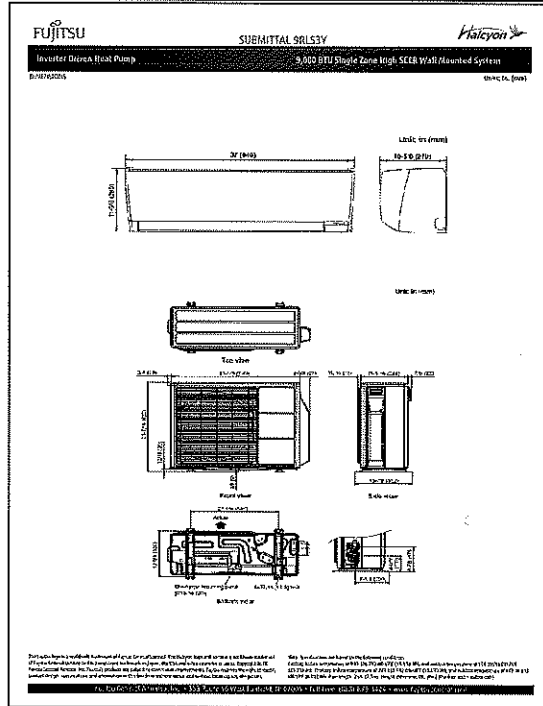
Job Name:		Date:	
Location:		Contractor:	
Engineer:		Design No.:	
Submitted To:		Design No.:	
Submitted By:			
Reviewed By:			

**PRODUCT FEATURES**

Area/Dimensions: 24.0 x 30.0, 30.0 x 36.0  
 Installation: Wall Mount  
 Maximum Heat Load: 9,000 BTU  
 Backflow: None  
 Auto Restart: Yes  
 Energy Saver: Yes  
 Energy Saving Program (ESP): Yes  
 Modulating Burner: Yes  
 Outdoor Unit: 24.0 x 30.0

**SECTION 41210 - MECHANICAL**

1. Furnace, 9,000 Btu/hr., single zone, high SEER, wall mounted, inverter drive heat pump, 24.0 x 30.0, 30.0 x 36.0, 36.0 x 48.0, 48.0 x 60.0, 60.0 x 72.0, 72.0 x 84.0, 84.0 x 96.0, 96.0 x 108.0, 108.0 x 120.0, 120.0 x 132.0, 132.0 x 144.0, 144.0 x 156.0, 156.0 x 168.0, 168.0 x 180.0, 180.0 x 192.0, 192.0 x 204.0, 204.0 x 216.0, 216.0 x 228.0, 228.0 x 240.0, 240.0 x 252.0, 252.0 x 264.0, 264.0 x 276.0, 276.0 x 288.0, 288.0 x 300.0, 300.0 x 312.0, 312.0 x 324.0, 324.0 x 336.0, 336.0 x 348.0, 348.0 x 360.0, 360.0 x 372.0, 372.0 x 384.0, 384.0 x 396.0, 396.0 x 408.0, 408.0 x 420.0, 420.0 x 432.0, 432.0 x 444.0, 444.0 x 456.0, 456.0 x 468.0, 468.0 x 480.0, 480.0 x 492.0, 492.0 x 504.0, 504.0 x 516.0, 516.0 x 528.0, 528.0 x 540.0, 540.0 x 552.0, 552.0 x 564.0, 564.0 x 576.0, 576.0 x 588.0, 588.0 x 600.0, 600.0 x 612.0, 612.0 x 624.0, 624.0 x 636.0, 636.0 x 648.0, 648.0 x 660.0, 660.0 x 672.0, 672.0 x 684.0, 684.0 x 696.0, 696.0 x 708.0, 708.0 x 720.0, 720.0 x 732.0, 732.0 x 744.0, 744.0 x 756.0, 756.0 x 768.0, 768.0 x 780.0, 780.0 x 792.0, 792.0 x 804.0, 804.0 x 816.0, 816.0 x 828.0, 828.0 x 840.0, 840.0 x 852.0, 852.0 x 864.0, 864.0 x 876.0, 876.0 x 888.0, 888.0 x 900.0, 900.0 x 912.0, 912.0 x 924.0, 924.0 x 936.0, 936.0 x 948.0, 948.0 x 960.0, 960.0 x 972.0, 972.0 x 984.0, 984.0 x 996.0, 996.0 x 1008.0, 1008.0 x 1020.0, 1020.0 x 1032.0, 1032.0 x 1044.0, 1044.0 x 1056.0, 1056.0 x 1068.0, 1068.0 x 1080.0, 1080.0 x 1092.0, 1092.0 x 1104.0, 1104.0 x 1116.0, 1116.0 x 1128.0, 1128.0 x 1140.0, 1140.0 x 1152.0, 1152.0 x 1164.0, 1164.0 x 1176.0, 1176.0 x 1188.0, 1188.0 x 1200.0, 1200.0 x 1212.0, 1212.0 x 1224.0, 1224.0 x 1236.0, 1236.0 x 1248.0, 1248.0 x 1260.0, 1260.0 x 1272.0, 1272.0 x 1284.0, 1284.0 x 1296.0, 1296.0 x 1308.0, 1308.0 x 1320.0, 1320.0 x 1332.0, 1332.0 x 1344.0, 1344.0 x 1356.0, 1356.0 x 1368.0, 1368.0 x 1380.0, 1380.0 x 1392.0, 1392.0 x 1404.0, 1404.0 x 1416.0, 1416.0 x 1428.0, 1428.0 x 1440.0, 1440.0 x 1452.0, 1452.0 x 1464.0, 1464.0 x 1476.0, 1476.0 x 1488.0, 1488.0 x 1500.0
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BASIS OF DESIGN, SUBSTITUTION PERMITTED WITH PRIOR OWNER'S APPROVAL. HVAC UNIT TO BE 12.0 SEER MIN AS PER 2015 IECC SECTION C403



Jacob Solomon  
 architect, ala  
 14-25 plaza rd  
 suite s-3-5  
 fair lawn-nj-07410  
 tel-201-797-0294  
 fax-201-625-6545  
 jsolomon@jsallcnj.com

Jacob Solomon, AIA  
 Principal  
 NJ RA 21A101255200  
 NY Lic. No. 039906-1  
 FL Lic. No. AR98757  
 PA Lic. No. RA409200  
 www.jsallcnj.com

Jacob Solomon, RA, AIA  
 NJ Registered Architect  
 21A101255200



PROPOSED  
 2ND FLOOR ADDITION  
 69 WEST MAIN STREET, LLC  
 8TH DAY CATERERS  
 BLOCK 123 LOT 3  
 BERGENFIELD, NJ

Date: 9/15/2021

Drawn By: J.S.

Checked By: J.S.

Job No: 21-313

Revisions		
1	Framing Revision	10/7/21
2	Unfinished 2nd Flr	1/24/22

Drawing Title:  
 SECOND FLOOR MECHANICAL  
 PLAN AND DETAILS

Dwg No.  
**M-1**