

FILE NO. \_\_\_\_\_ DATE \_\_\_\_\_  
DATE OF HEARING \_\_\_\_\_ DISPOSITION \_\_\_\_\_

BOARD OF ADJUSTMENT  
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL  
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME avram zamist  
ADDRESS 16 Glenwood Drive North  
OWNER'S NAME KAZ Development Group LLC  
OWNER'S ADDRESS 745 Downing St. Teaneck, NJ 07666 PHONE # [REDACTED]  
FED I.D. # or S.S. # [REDACTED]

Applicant will be represented at public hearing by avram zamist Sean McLellan

TO THE BOARD OF ADJUSTMENT:

Application is hereby made for a variation/appeal from the requirements of Section (s) \_\_\_\_\_ and /or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at

NUMBER: 16  
DESIGNATED AS Block (s) 291 and lot (s) 17  
On the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R 5  
VARIANCES REQUIRED: LOT AREA \_\_\_\_\_ LOT FRONTAGE \_\_\_\_\_  
LOT COVERAGE X FRONT YARD X REAR YARD X SIDE YARD X  
TOTAL SIDE YARD \_\_\_\_\_ OTHER (specify) \_\_\_\_\_

THE REASON FOR DESIRED VARIANCE/APPEAL  
Lot is irregular creating signifcsnt design and building hardships

DESCRIPTION OF PROPERTY

1. SIZE OF LOT IRR  IRR 2. SQUARE FEET IN LOT 5,781

3. SIZE OF PRESENT BUILDING X 4. STORIES 2  
X

5. TOTAL AREA 1280 SQ. FT. 6. NUMBER OF ROOMS 4

7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 22.1 %

8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY \_\_\_\_\_  
Vacant single family home

9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES \_\_\_\_\_  
NO  (If yes, provide a copy of same)

10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY \_\_\_\_\_  
Single family homes

11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES?  
YES \_\_\_\_\_ NO  IF SO, DATE FILED \_\_\_\_\_

DISPOSITION \_\_\_\_\_

12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE?  
YES  NO \_\_\_\_\_ (IF SO, EXPLAIN) \_\_\_\_\_

Existing Imp Coverage 45.7 % Existing side yard setback

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?  
YES \_\_\_\_\_ NO

14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?  
YES \_\_\_\_\_ NO

15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER  
MUNICIPALITY?

YES \_\_\_\_\_ NO

## DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES X NO \_\_\_\_\_

17. SIZE OF NEW ADDITION \_\_\_\_\_ x \_\_\_\_\_ SQ. FT.  
 \_\_\_\_\_ AREA \_\_\_\_\_ HEIGHT

18. SIZE OF NEW BUILDINGS \_\_\_\_\_ x \_\_\_\_\_ SQ. FT.  
1897 sqf AREA 29.8 HEIGHT

19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS  
32.8 %

20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR 1

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**NOTE: ALL APPLICATIONS MUST INCLUDE:**

1. Completed Application Form with Affidavits of Accuracy and Ownership.
2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately.
3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable.

- ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE.
- ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE.
- ALL RETURN RECEIPTS MUST BE SUBMITTED PRIOR TO HEARING.

By order of the Board of Adjustment of Bergenfield  
AFFIDAVIT BOARD OF ADJUSTMENT  
OF THE  
BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY  
COUNTY OF BERGEN  
BOROUGH OF BERGENFIELD

SS: Avram Zamist  
Name of Applicant

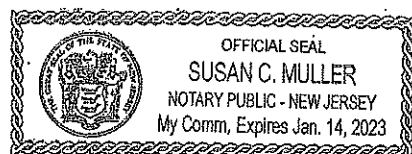
Avram Zamist being dully sworn deposes  
and says; that he resides at number 745 Downing St in the state of  
Teaneck, New Jersey, and says that he is the appellant making appeal  
for a variation/appeal of the provisions of the Provisions of the Zoning  
Ordinance of the of the Borough of Bergenfield in connection with the  
property which is the subject matter of this appeal and known as  
number 16 designated as Block 291 and Lot 17 on  
the Asséssment Map of the Borough of Bergenfield. That all statements  
made in this application, and statements made in the plans submitted  
herewith are true. The applicant further states that he is ready and able  
to proceed with the construction if and when the application is granted.

Sworn to me this- 25  
day of February 20 22

Susan C. Muller  
Notary Public

[Signature]  
Applicant

Note: All partnerships and corporations must supply a list of stockholders with  
a 10% or greater share, they must also be represented by an Attorney at the hearing.



**AFFIDAVIT OF OWNERSHIP**

STATE OF NEW JERSEY,  
COUNTY OF BERGEN

SS:

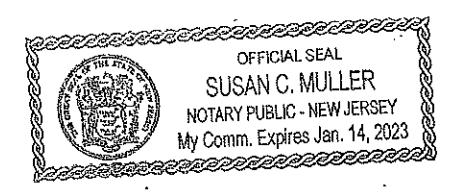
Avram Zamist of full age, dully sworn according  
to the law, deposes and says that he resides at 745 Downing St. Teaneck, NJ 07666 in the  
Borough of Bergen in the country of United States in  
the State of New Jersey that he is the owner in fee of real property  
lying in the Borough of Bergenfield, known and designated as number  
16 Glenwood Drive North and the he hereby authorizes Self to  
make the within application in his behalf and that the statements in the said  
application are true.

Sworn to before me this 25  
Day of February 20 22

[Signature]  
Owner

[Signature: Susan C. Muller]  
Public Notary

Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.





**TAX COLLECTOR'S CERTIFICATION  
PAYMENT OF PROPERTY TAXES**

Date 1/19/2022

Block 291 Lot 17 Address 16 Glenwood Drive North

Owners Name avram zamist

Owner's Address 745 Downing St. Teaneck, NJ 07666

Phone Number 9177638970 Cell Number \_\_\_\_\_

Application for:  Board of Adjustment  Planning Board

Building Department Permit

**Description of Work to be performed:**

New construction. Single family home

5 bedrooms 3 bathrooms

*All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit From the building department for construction or certificate of occupancy. "No Exceptions"*

\*\*\*\*\*

**Tax Office Use Only:**

Tax Current  Yes  No Last Quarter Paid On: 11/4/2021  
*(Printout Attached)*

**Tax Collector/Deputy Tax Collector Certification:**

JUAN C ORTIZ

1/27/21

Date:

Certification Number T-8454



## BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE  
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.  
(201) 387-4055 EXT. 1-4092  
FAX: (201) 385-7376

January 13, 2022

Avram Zamist  
16 Glenwood Dr - North  
Bergenfield, NJ 07621

RE: New Single Family House

Dear Mr. Zamist

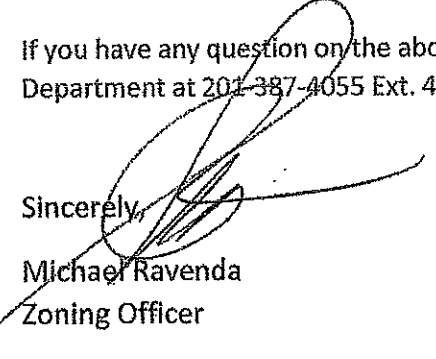
Your application for the new single family house has been denied. The application has been denied for the following reasons.

- Improved lot coverage required 40%, proposed 44.8%
- Required front yard 25 ft, proposed 18 ft
- Required side yard 5 ft, proposed 3.4 ft
- Required total side yard 10 ft, proposed 8.4 ft
- Required rear yard 25 ft, proposed 13.6 ft
- There is no variance required for lot coverage. Required lot coverage 35%, proposed 32.8%

You have the right to appeal my decision to the Zoning Board. You may also contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

  
Michael Ravenda  
Zoning Officer

tbz

# ADDITION AND RENOVATION FOR 16 GLENWOOD DR., BERGENFIELD, NJ

## APPLICABLE CODES

- INTERNATIONAL RESIDENTIAL CODE, NJ EDITION 2018
- INTERNATIONAL MECHANICAL CODE (IMC 2018)
- NATIONAL STANDARD PLUMBING CODE, NJ ED. 2018
- NATIONAL ELECTRICAL CODE (NFPA 70) / 2017
- INTERNATIONAL FUEL GAS CODE 2018
- INTERNATIONAL ENERGY CONSERVATION CODE 2018

STREET LOCATION	16 GLENWOOD AVE., BERGENFIELD, NJ 07621
SECTION (BLOCK)	293
LOT	14
USE GROUP	R-5
PERMITTED USE	PERMITTED USE
NO. OF STORIES	2
TYPE OF CONSTRUCTION	5B

NEW CONSTRUCTION	
BASEMENT	1,435 SF
FIRST FLOOR	1,718.4 (INC. GARAGE)
SECOND FLOOR	1,761.6
3,480.0 SF	

PORCH ADDITION: 179 SF

VOLUME	43,029.5 CU.FT.
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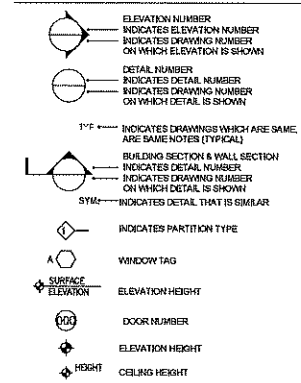
## INDEX OF DRAWINGS:

- A-1 PROJECT DATA, NOTES AND RISER DIAGRAMS  
A-2 PROPOSED FLOOR PLANS  
A-3 EXTERIOR ELEVATIONS

### ABBREVIATIONS

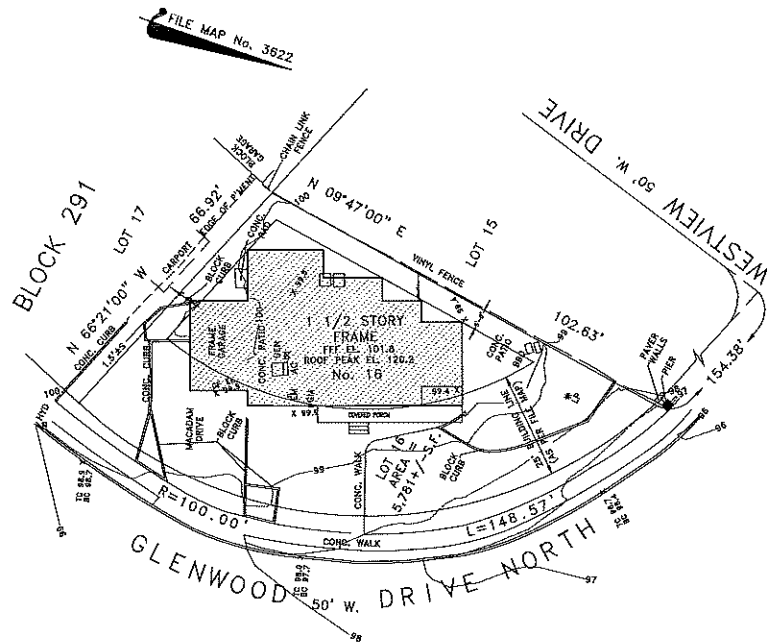
A.F.F.	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
CL	CENTER LINE
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTIGUOUS
DN.	DOWN
DWG.	DRAWING
EA.	EACH
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EXIST.	EXISTING
FD	FLOOR DRAIN
F.F.	FINISH FLOOR
FL.	FLOOR
FT.	FEET, FOOT
G.A.	GAUGE
G.F.I.	GROUND-Fault-INTERRUPTED
GL.	GLASS
MAX.	MAXIMUM
ML	MICRO LAM
MIN.	MINIMUM
N.O.	MASKARY OPENING
N.I.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
OC	ON CENTER
PT.	PARALLEL LUMBER
SAB	SOUND ATTENUATION FIBER BLANKET
T.O.	TOP OF
T.O.J.	TOP OF JOIST
T.O.S.	TOP OF SLAB
T.O.W.	TOP OF WALL
TYP.	TYPICAL
UNL.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
WP	WATERPROOF
TBD	TO BE DETERMINED
GWB.	GYPSUM WALL BOARD

### DRAWING NOTATION



## GENERAL NOTE

- ALL WORK SHALL BE IN ACCORDANCE WITH BEST ACCEPTED TRADE PRACTICE, ALL MATERIAL OF BEST GRADE FOR THEIR PURPOSE. ALL WORK SHALL COMPLY WITH ALL APPLICABLE FEDERAL AND STATE LAWS, MUNICIPAL ORDINANCES, INTERNATIONAL BUILDING CODE 2000 AND NEW JERSEY UNIFORM CONSTRUCTION CODE.
- THE CONTRACTOR SHALL SECURE AND PAY FOR BUILDING PERMITS AND ALL OTHER FEES, LICENSES, CERTIFICATES OF INSPECTION AND APPROVAL NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND FIELD MEASUREMENT IN FIELD BEFORE START OF WORK. HE SHALL BE GUIDED AT ALL TIMES BY DIMENSIONS SHOWN ON PLANS NOT BY SCALING OF DRAWINGS AND RESPONSIBLE TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR NON-CONFORMITIES IN DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND CODES NECESSARY TO ADEQUATELY PROTECT ALL PERSONS AND PROPERTY FROM INJURY, DAMAGE OR LOSS. HE SHALL INSTALL AND MAINTAIN ALL REASONABLE SAFEGUARDS, NOTICES, BARRIERS, SCAFFOLDING, LADDERS AND PRECAUTIONS REQUIRED TO PROVIDE ALL PROTECTION.
- THE CONSTRUCTOR SHALL PROTECT ALL WORK AND EQUIPMENT TO REMAIN AT THE SITE AND SHALL BE IN RESPECT OF ALL WORK ADHERE TO OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS FROM THE CONSTRUCTION SITE IMMEDIATELY AFTER COMPLETION OF THEIR WORK IN SAFE AND LEGAL MANNER.



1 PLOT PLAN  
SCALE: 1" = 20'-0"

REFER TO ENGINEER'S SITE PLAN  
FOR SITE WORK AND ZONING INFORMATION.

BOROUGH OFFICIAL'S APPROVAL

CHAIRMAN:

SECRETARY:

BOARD ENGINEER:

## PROJECT

16 GLENWOOD DR. NORTH  
BERGENFIELD, NJ 07621

## ARCHITECT

**JAD**

ARCHITECTURE • INTERIOR DESIGN

JOON ARCHITECTURE AND DESIGN, LLC

21 GRAND AVE. #608, PAUSADES PARK, NJ 07650  
(USE #425 FOR MAILING ADDRESS INSTEAD OF #608)

DIRECT CONTACT: 732-586-2563  
OFFICE: 201-496-6242  
EMAIL: hcas2012@gmail.com

HOJOON CHUNG, RA  
NJ State License  
21A01760900

## KEY MAP



## REVISIONS:

No. Date: Description:

## DRAWING

PROJECT DATA,  
PLOT PLAN AND  
NOTES

PROJECT NUMBER

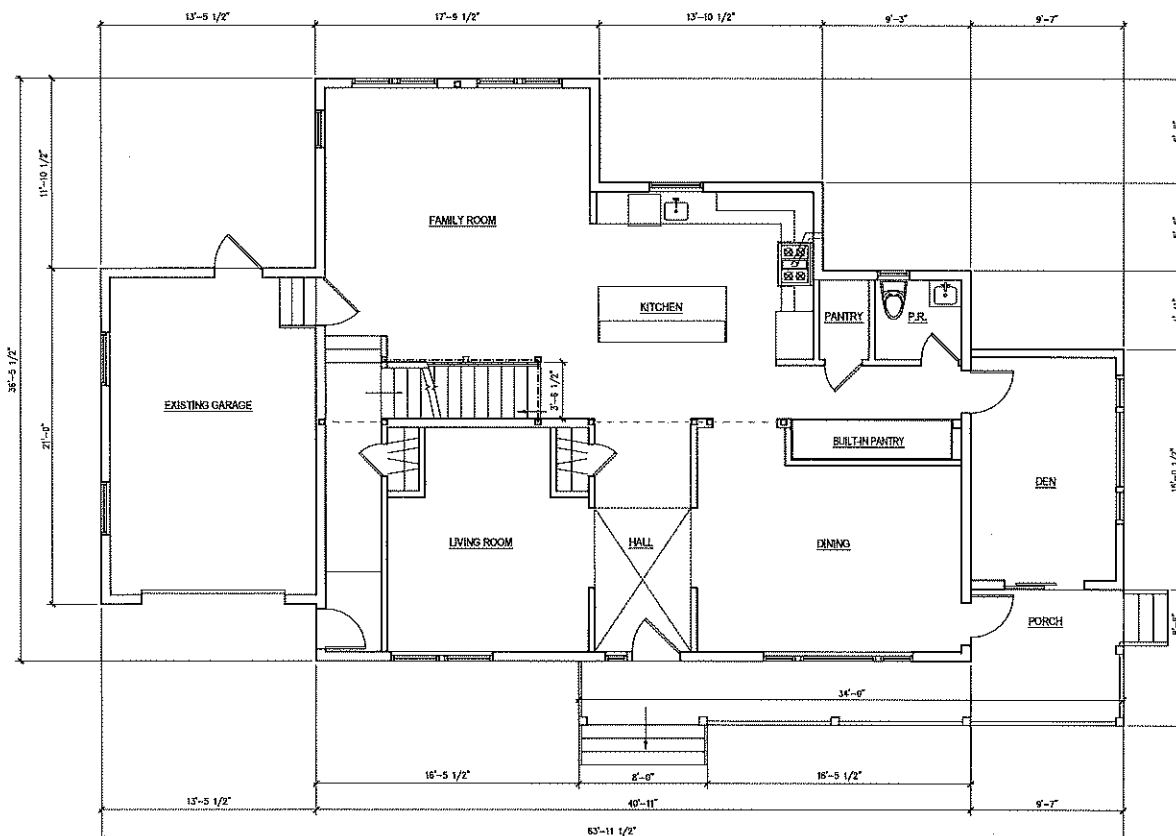
21-0421-01

DATE SCALE  
11.02.2021 AS NOTED

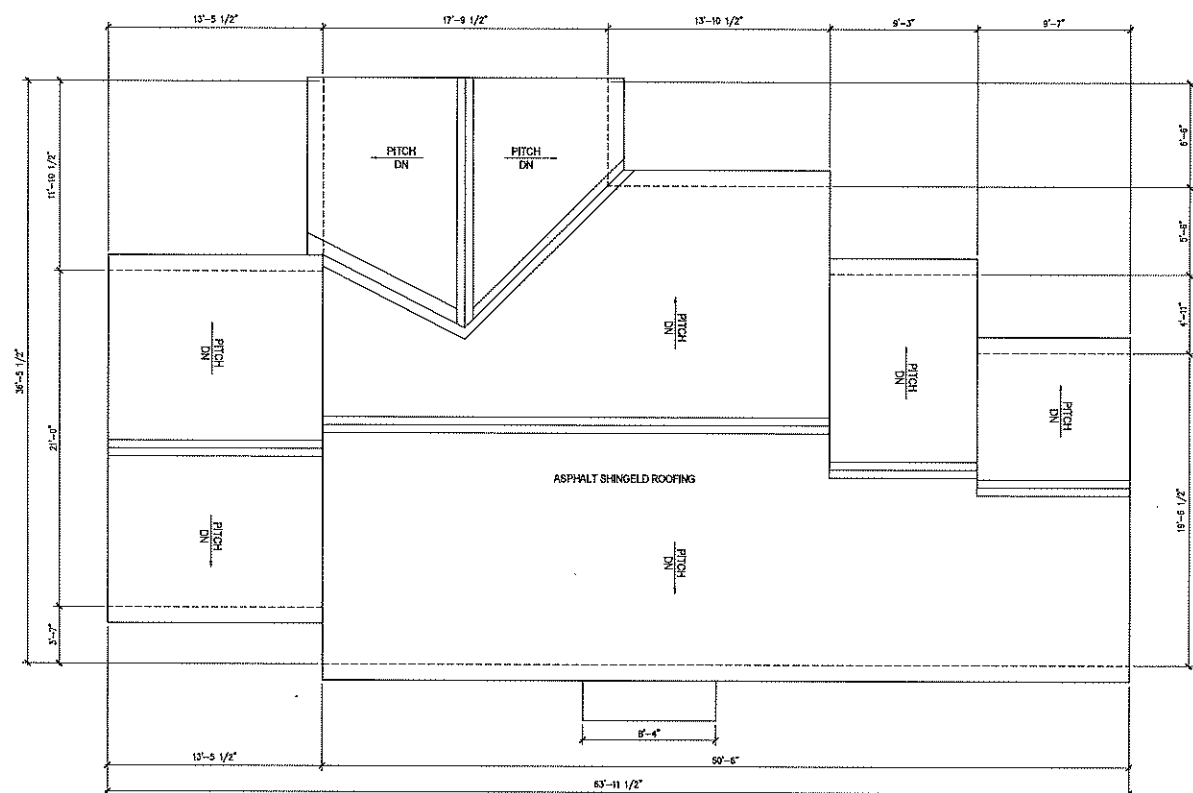
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A-1

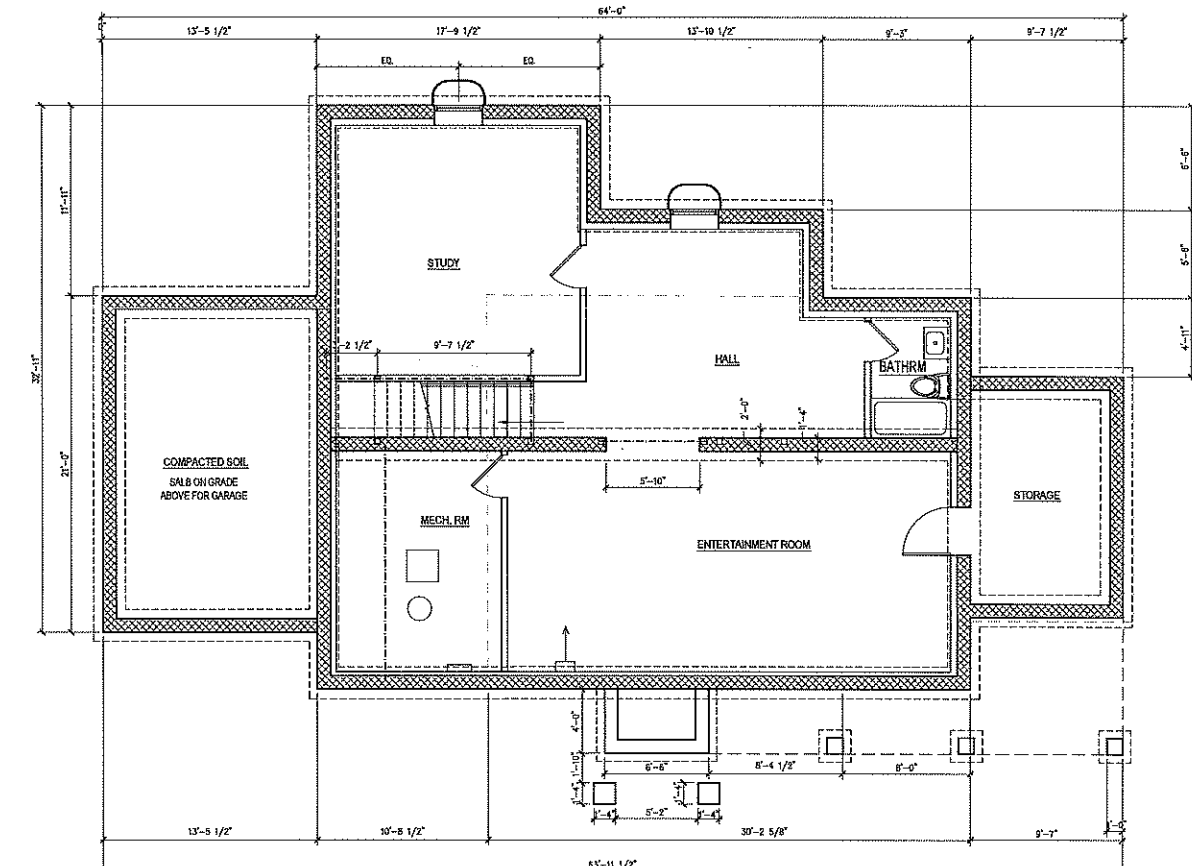




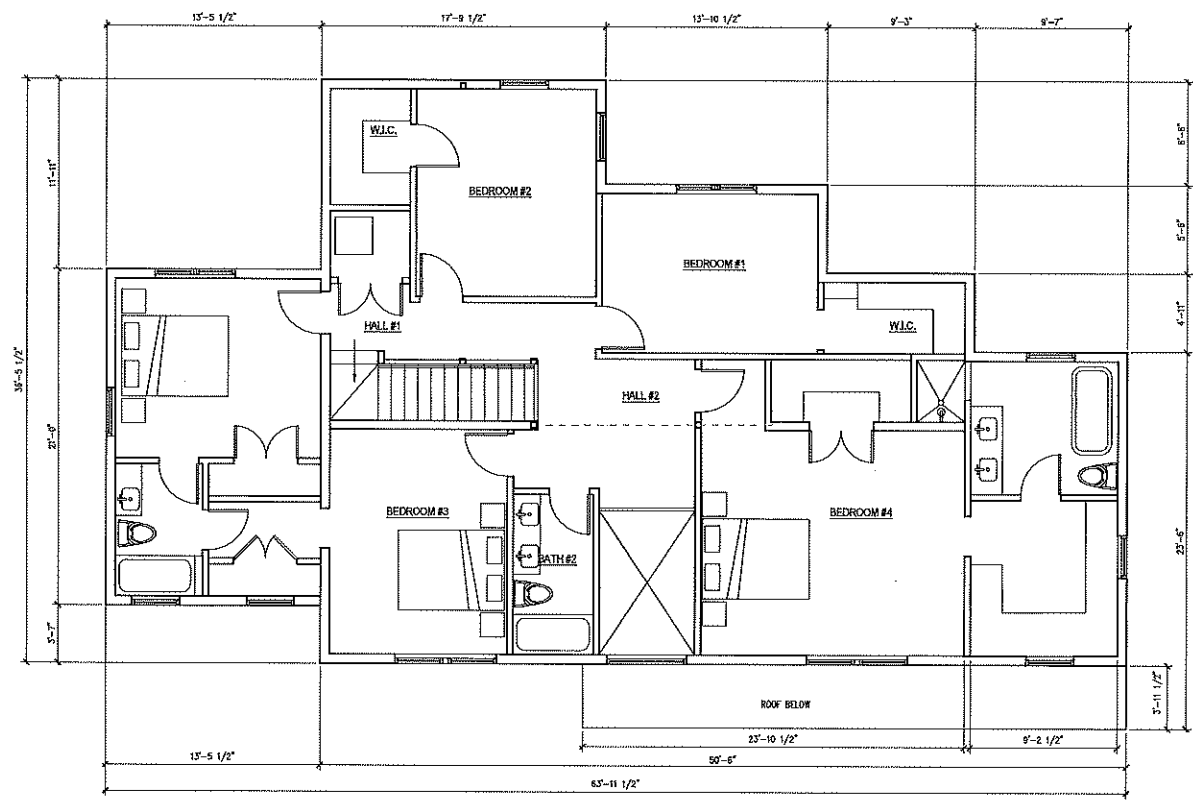
2 PROPOSED FIRST FLOOR PLAN  
SCALE: 3/16"=1'-0"



4 PROPOSED ROOF PLAN  
SCALE: 3/16"=1'-0"



1 PROPOSED CEALLAR PLAN  
SCALE: 3/16"=1'-0"

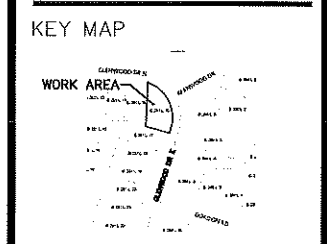


3 PROPOSED SECOND FLOOR PLAN  
SCALE: 3/16"=1'-0"

PROJECT  
16 GLENWOOD DR. NORTH  
BERGENFIELD, NJ 07621

ARCHITECT  
**JAD**  
ARCHITECTURE • INTERIOR DESIGN  
JOON ARCHITECTURE AND DESIGN, LLC  
21 GRAND AVE. # 404B, PALISADES PARK, NJ 07650  
(USE #525 FOR MAILING ADDRESS INSTEAD OF #404B)  
DIRECT CONTACT: 732-588-2563  
OFFICE: 201-694-6542  
EMAIL: hccs2012@gmail.com

HOJOUN CHUNG, RA  
NJ State license  
21A01760900



REVISIONS:

No.	Date	Description
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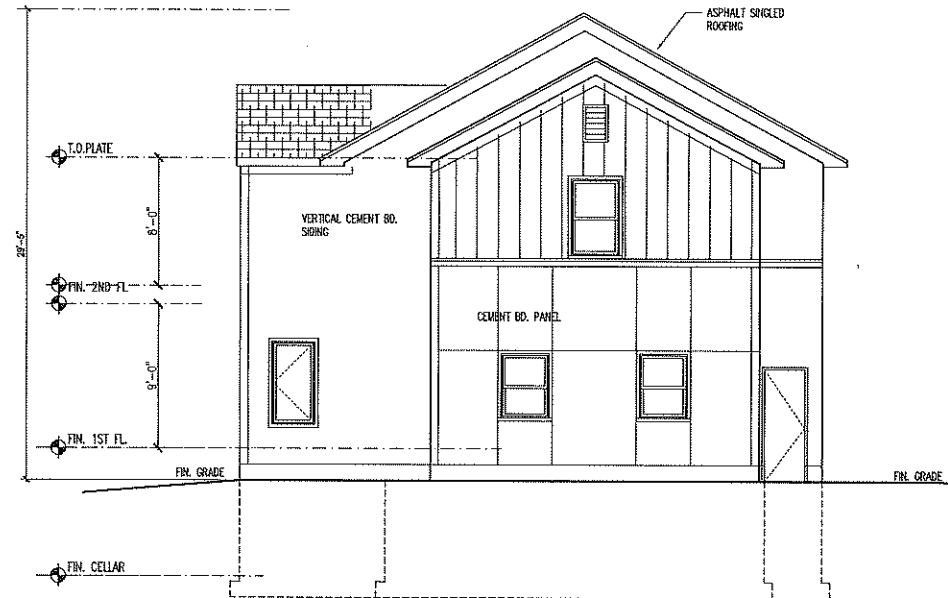
DRAWING  
PROPOSED  
FLOOR PLANS

PROJECT NUMBER  
21-0421-01  
DATE  
11.02.2021  
SCALE  
AS NOTED  
DRAWING NUMBER

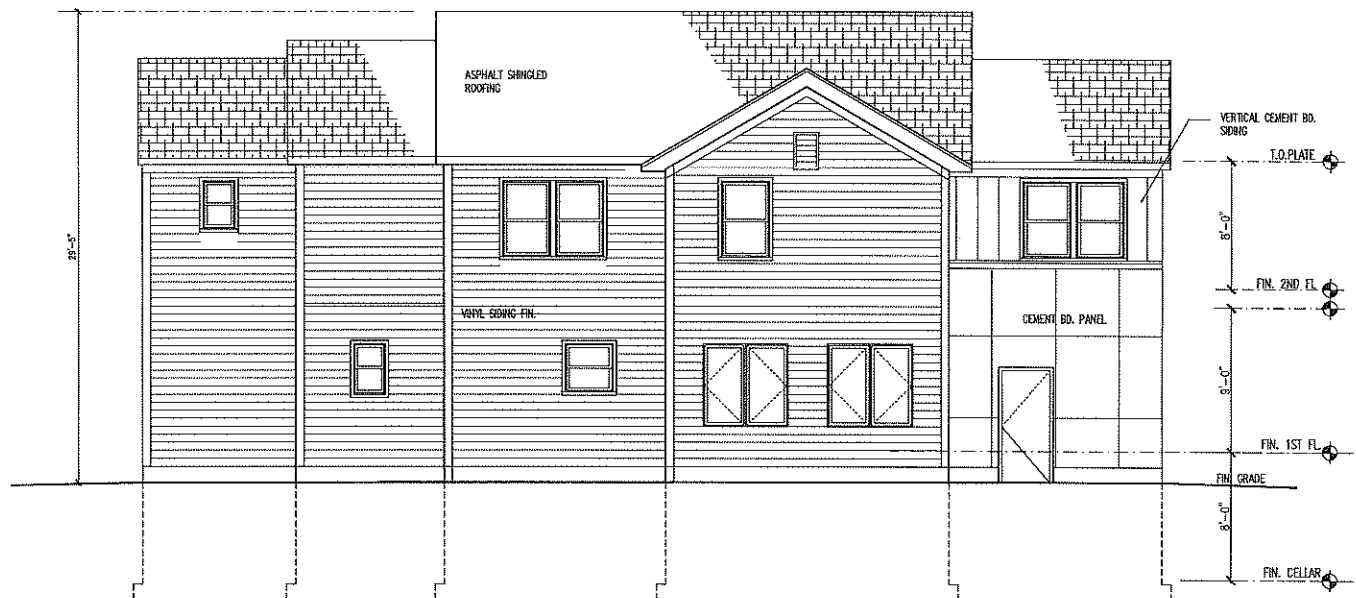
A-2



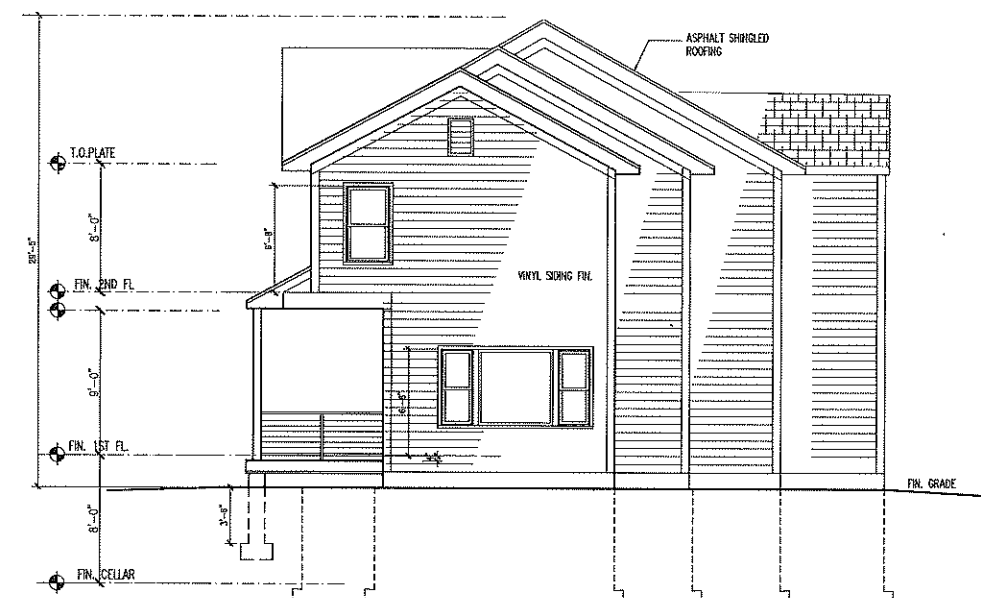
1 FRONT ELEVATION  
SCALE: 3/16"=1'-0"



2 LEFT SIDE ELEVATION  
SCALE: 3/16"=1'-0"



3 REAR SIDE ELEVATION  
SCALE: 3/16"=1'-0"

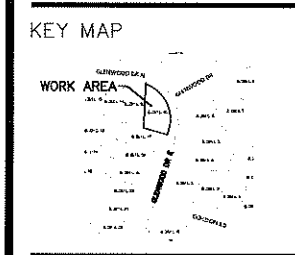


4 RIGHT SIDE ELEVATION  
SCALE: 3/16"=1'-0"

PROJECT  
16 GLENWOOD DR. NORTH  
BERGENFIELD, NJ 07621

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21A101760900



REVISIONS:

No.	Date	Description
0	12/20/2021	ZONING APPLICATION

DRAWING  
PROPOSED  
ELEVATIONS

PROJECT NUMBER  
21-0421-01  
DATE  
11.02.2021  
DRAWING NUMBER  
AS NOTED

A-3

