

FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME Michael ZANDERER
ADDRESS 438 WILDORR Ave
OWNER'S NAME Michael & Rutha ZANDERER
OWNER'S ADDRESS 438 WILDORR Ave PHONE # [REDACTED]
FED I.D. # or S.S. # [REDACTED]

Applicant will be represented at public hearing by _____

TO THE BOARD OF ADJUSTMENT:

Application is hereby made for a variation/appeal from the requirements of Section (s) _____ and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at _____

NUMBER: 438 WILDORR Ave
DESIGNATED AS Block (s) 301 and lot (s) 5
On the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-6
VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____
LOT COVERAGE FRONT YARD _____ REAR YARD _____ SIDE YARD
TOTAL SIDE YARD _____ OTHER (specify) _____

THE REASON FOR DESIRED VARIANCE/APPEAL
• Construction of a 6' addition and deck to align with existing non conforming side yard
• Expand width of Driveway to allow 2 cars to park side by side

DESCRIPTION OF PROPERTY

- 1. SIZE OF LOT 60 X 100 2. SQUARE FEET IN LOT 6000sf
- 3. SIZE OF PRESENT BUILDING 45'-9" X 25'-10" 4. STORIES 2
- 5. TOTAL AREA 1185 SQ. FT. 6. NUMBER OF ROOMS X
- 7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 20.73 %
- 8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Residential
- 9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES _____
NO X (If yes, provide a copy of same)
- 10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY _____
Residential + similar style
- 11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES?
YES _____ NO X IF SO, DATE FILED _____
- DISPOSITION _____
- 12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE?
YES X NO _____ (IF SO, EXPLAIN) _____
Existing like yard are non conforming
- 13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YES _____ NO X
- 14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
YES _____ NO X
- 15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER MUNICIPALITY?
YES _____ NO X

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO X
17. SIZE OF NEW ADDITION 6' x 23'-4" SQ. FT.
140 AREA 14'-4" HEIGHT
18. SIZE OF NEW BUILDINGS _____ x _____ SQ. FT.
 _____ AREA _____ HEIGHT
19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
2706 %
20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR 1 Family
-

NOTE: ALL APPLICATIONS MUST INCLUDE:

1. Completed Application Form with Affidavits of Accuracy and Ownership.
2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately.
3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable.

- ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE.
- ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE.
- ALL RETURN RECEIPTS MUST BE SUBMITTED PRIOR TO HEARING.

By order of the Board of Adjustment of Bergenfield
AFFIDAVIT BOARD OF ADJUSTMENT
OF THE
BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY
COUNTY OF BERGEN
BOROUGH OF BERGENFIELD

SS: Michael ZAUDERER
Name of Applicant

Michael ZAUDERER being dully sworn deposes
and says; that he resides at number 438 WEIDA ^{ave Bergenfield} in the state of
NJ, and says that he is the appellant making appeal

for a variation/appeal of the provisions of the Provisions of the Zoning
Ordinance of the of the Borough of Bergenfield in connection with the
property which is the subject matter of this appeal and known as
number 438 designated as Block 300 and Lot 5 on
the Asséssment Map of the Borough of Bergenfield. That all statements
made in this application, and statements made in the plans submitted
herewith are true. The applicant further states that he is ready and able
to proceed with the construction if and when the application is granted.

Sworn to me this- NINETEENTH
day of JANUARY 2022

[Signature]
Notary Public

[Signature]
Applicant

Note: All partnerships and corporations must supply a list of stockholders with
a 10% or greater share, they must also be represented by an Attorney at the hearing.

EDWIN J. GERSTLEY
NOTARY PUBLIC, STATE OF NEW JERSEY
Bergen County
Commission # 2114594
My Commission Expires August 10, 2023

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,
COUNTY OF BERGEN

SS:

Michael Zaidner of full age, dully sworn according to the law, deposes and says that he resides at 438 WILDROSE Ave in the Borough of Bergenfield in the country of Bergen in the State of New Jersey that he is the owner in fee of real property lying in the Borough of Bergenfield, known and designated as number 438 WILDROSE Ave and the he hereby authorizes _____ to make the within application in his behalf and that the statements in the said application are true.

Sworn to before me this NINETEENTH
Day of JANUARY 2022

Michael Zaidner
Owner

[Signature]
Public Notary

EDWIN J. GERSTLEY
NOTARY PUBLIC, STATE OF NEW JERSEY
Bergen County
Commission # 2114594
My Commission Expires August 10, 2023

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BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

January 13, 2022

Rivka Zauderer
438 Wild Rose Ave
Bergenfield, NJ 07621

RE: Addition

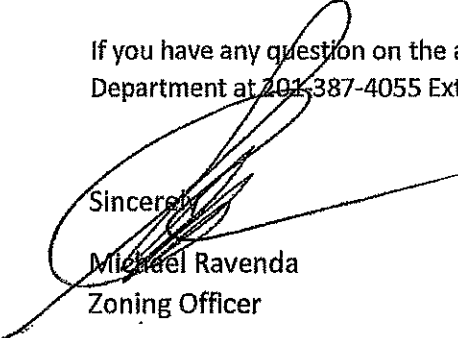
Dear Mr. Zauderer,

Your application for addition has been denied for the following reason:

- Required side yard is 7.5 ft, proposed side yard to new addition is 6.44ft.
Must seek variance from Zoning Board.

You have the right to appeal my decision to the Zoning Board. You may also contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

Michael Ravenda
Zoning Officer

tbz

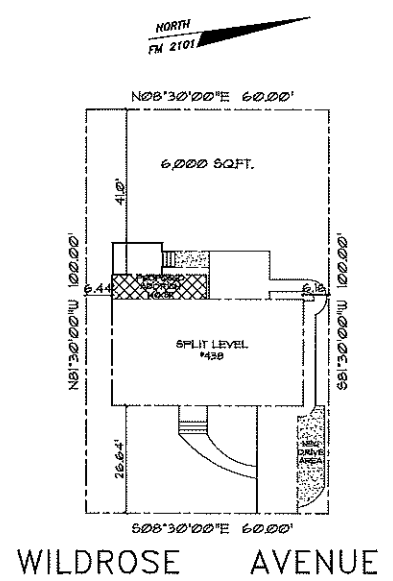
ZAUDERER RESIDENCE

438 WILDROSE AVENUE

BERGENFIELD, NEW JERSEY

GENERAL NOTES

- 1) INFORMATION SHOWN IN THE DRAWINGS ARE GENERAL IN NATURE & REPRESENT AN OVERALL DESIGN CONCEPT. THEY ARE PREPARED WITH THE INTENT TO FURNISH THE OVERALL DESIGN ARRANGEMENT AND METHOD OF ASSEMBLY OF THE VARIOUS COMPONENTS. THE CONTRACTOR IS ADVISED TO HAVE REVIEWED THESE PLANS, HAVING BEEN THE SUBJECT PROPERTY, AND IS CAPABLE OF EXECUTING THE DETAIL WORK NECESSARY TO ACHIEVE THE INTENDED RESULT.
- 2) DO NOT SCALE DRAWINGS - USE DIMENSIONS ONLY. CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES AND / OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF BIDS AND COMMENCEMENT OF WORK.
- 3) THE CONTRACTOR SHALL FILE FOR, OBTAIN, AND PAY FOR ALL PERMITS AND APPROVALS. NO WORK IS TO COMMENCE UNTIL ALL APPROVALS ARE OBTAINED AND ALL PERMITS HAVE BEEN RECEIVED.
- 4) ALL WORK SHALL COMPLY WITH THE "NEW JERSEY CONSTRUCTION CODES", "THE REGULATIONS OF THE NEW JERSEY CONSTRUCTION CODES", LOCAL ORDINANCES, AND UTILITY COMPANIES REGULATIONS, HAVING JURISDICTION.
- 5) ALL CONTRACTORS SHALL MAINTAIN CONTRACTORS LIABILITY PROPERTY DAMAGE INSURANCE, AND WORKMANS COMPENSATION INSURANCE. ALL OPERATIONS SHALL CONFORM TO ALL FEDERAL AND STATE SAFETY CODE REGULATIONS.
- 6) CONCRETE FOOTINGS AND SLABS, IF REQUIRED, SHALL HAVE MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3,000 P.S.I. AFTER 28 DAYS.
- 7) ALL ELECTRIC WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL CONNECT ALL APPLIANCES AND EQUIPMENT. PROVIDE CIRCUITING PER CODE TO WIRE ALL DEVICES SHOWN OR CODES REQUIRED.
- 8) ALL PLUMBING SHALL CONFORM TO THE NATIONAL STANDARD PLUMBING CODE.
- 9) HEAT AND AIR CONDITIONING SHALL BE PROVIDED BY CONTRACTOR.
- 10) ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL COMPLETION OF THE PROJECT.
- 11) THE CONTRACTOR SHALL MAINTAIN THE SITE IN A NEAT, CLEAN MANNER AT ALL TIMES. AT COMPLETION OF WORK, THE CONTRACTOR SHALL THOROUGHLY BROOM CLEAN BOTH INTERIOR AND EXTERIOR AREAS. THE PROPERTY SHALL BE RETURNED TO THE ORIGINAL CONDITION.
- 12) ALL CONSTRUCTION SHALL BE PREPARED AND FINISHED TO CONFORM TO BUILDING STANDARDS.
- 13) CONTRACTOR SHALL PATCH AND REPAIR AS NECESSARY ALL EXISTING AREAS AFFECTED BY DEMOLITION AND CONSTRUCTION AND SHALL PREPARE SAID AREAS FOR NEW FINISH AS REQUIRED.
- 14) CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING THE INTEGRITY OF ALL THIS RESIDENCE STRUCTURE ELEMENTS. ANY VOIDS CREATED IN CEILING, FLOORS AND/OR WALLS ARE TO BE SAVED BY CONTRACTOR TO COMPLY WITH EXISTING CODES.
- 15) ALL NEW CONSTRUCTION AND EXISTING STRUCTURES TO REMAIN SHALL BE PREPARED AND FINISHED AS REQUIRED TO BUILDING STANDARDS AND THESE NEW SHALL INCORPORATED ANY PORTION OF AN EXISTING WALL. MATERIALS SHALL MATCH BOTH IN KIND AND THICKNESS AND SHALL BE FINISHED SMOOTH SO THAT NO SEAM OR PATCH IS VISIBLE.
- 16) CONTRACTOR SHALL COMPLY WITH SOIL EROSION CONTROL AGENCY REQUIREMENTS AND OBTAIN APPROVAL IF LOCALLY REQUIRED.
- 17) FRAMING LAFRER (JOIST, GIRDERS, RAFTERS, PLATES, STUDS, BELLS, HEADERS, TRIFTERS, RIDGES AND VALLEYS) SHALL BE EQUAL AS PER THE CONSTRUCTION GRADE NO. 1 2X4 CONSTRUCTION GRADE NO. 2 (EXTREME FIBER IN BENDING = 1100 PSI, MODULUS OF ELASTICITY = 1,700,000) SET ALL JOISTS AND GIRDERS WITH NATURAL CANTEN DOUBLE UP FLOOR JOISTS UNDER PARTITIONS RUNNING PARALLEL TO JOISTS AND UNDER THE FLOOR. DOUBLE UP STUDS AT ALL OPENINGS. SUPPORT HEADERS ON STUDS. SUPPORT HEADERS LONGER THAN 7'-0" ON TWO STUDS EACH END. CUTSAS NOTIONS AND DRILLS OF 8'-0" MINIMUM HEADROOM AT STAIRS 6'-6". ALL HEADERS OVER DOORS AND WINDOWS TO BE (12)" x 8" ON TWO STUDS ON EACH SIDE OF OPENING. ALL OPENINGS OVER 6'-0" WIDE SHALL HAVE (12)" x 12" WOOD BEAM ON THREE STUDS EACH SIDE OF OPENING TYPICAL. ALL DOOR AND WINDOW HEADERS UNLESS OTHERWISE NOTED.
- 18) PROVIDE SMOKE DETECTORS USING AN AC PRIMARY SOURCE AS POWER SUPPLY, PER "ICC RESUB" CODE.
- 19) STRUCTURAL DESIGN LOADS:
ROOF RAFTERS = 30 LB/SQ. FT. + 10 LB/SQ. FT.
ATTIC FLOOR = 30 LB/SQ. FT. + 10 LB/SQ. FT. + 30 LB/SQ. FT.
2ND FLOOR = 30 LB/SQ. FT. + 10 LB/SQ. FT. + 40 LB/SQ. FT.
3RD FLOOR = 40 LB/SQ. FT. + 10 LB/SQ. FT. + 50 LB/SQ. FT.
- 20) ENERGY CODE COMPLIANCE:
THIS BUILDING CONFORMS WITH THE CODE. THE WINDOW AREA IS NOT MORE THAN 25% OF WALL AREA. THE WALLS HAVE A MINIMUM OF R-13 INSULATION. THE CEILING HAVE A MINIMUM OF R-13 INSULATION.
- 21) ATTIC SPACE SHALL BE VENTED WITH APPROVED VENTING. NET AREA OF 6.2033 X FLOOR AREA.
- 22) GYPSUM BOARD SHALL BE FASTENED WITH APPROVED NAILS OR SCREWS SPACED AS PER "ICC RESUB" STANDARDS. PROVIDE WATER RESISTANT BOARD WALLS AND CEILING IN BATHROOMS.
- 23) ENCLOSE ENTIRE LIVING ENVELOPE WITH A VAPOR BARRIER AND FIBERGLASS BATT INSULATION OF THICKNESS INDICATED. PROVIDE BELL INSULATION. INSULATE ALL OVERLAPS.
- 24) INTERIOR STAIRS SHALL HAVE AT LEAST ONE HANDRAIL. RAILINGS AND BALCONIES SHALL BE DESIGNED TO RESIST FORCES OF 200 LBS. HORIZONTAL FORCE.
- 25) THE CONTRACTOR SHALL PROVIDE ALL BATHROOM TILES AND FINISHES.
- 26) BEDS CONTRACTOR SHALL PROVIDE AND INSTALL ALL COMPONENTS OF THE BEDS IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS.



1 SITE PLAN
SCALE: 1" = 30'-0"

SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY VINCENT E. VINEGRA OF HARVEYOR CONSULTANTS, INC., ENGINEERS & SURVEYORS

SCHEDULE OF BULK REQUIREMENTS-R-6 ZONE (RESIDENTIAL)			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	6,000 SQFT	6,000 SQFT	6,000 SQFT
MIN. LOT WIDTH	60.0'	60.0'	60.0'
IMPROVED LOT COVERAGE	35% (2,100 SF)	30.56% (1,834 SF)	37.43% (2,246 SF)
MAXIMUM LOT COVERAGE	30% (1,800 SF)	20.13% (1,244 SF)	23.06% (1,384 SF)
MAX. HEIGHT (FT.)	30.0'/2 STORIES	30.0'/2 STORIES	30.0'/2 STORIES
FRONT YARD	25.0'	26.64'	26.64'
SIDE YARD	15.0'	6.44'/26.6'	6.44'/26.6'
MINIMUM REAR YARD	25.0'	41.0'	41.0'

LEGEND:

- ⊕ CLG MOUNTED INCANDESCENT RECESSED LIGHTING FEATURE AS SELECTED BY OWNER
- ⊕ PENDANT LIGHTING FEATURE AS SELECTED BY OWNER
- ⊕ SCONCE AS SELECTED BY OWNER
- ⊖ DUPLEX REC. OUTLET
- ⊖ GROUND FAULT INTERRUPT DUPLEX REC. OUTLET
- ⊖ TELEPHONE OUTLET
- ⊖ SINGLE WAY SWITCH
- ⊖ THREE WAY SWITCH
- ⊖ FOUR WAY SWITCH
- ⊖ JUNCTION BOX FOR LIGHT FEATURE AS SELECTED BY OWNER
- ⊖ CABLE
- ⊖ 50 CFM EXHAUST FAN/LIGHT W/ BACKDRIFT DAMPER
- ⊖ SMOKE DETECTOR HARD WIRE BY BATTERY BACK UP
- ⊖ WALL MOUNTED LIGHTING FEATURE TO BE SELECTED BY OWNER
- ⊖ H2S MOTION SENSOR LIGHT SWITCH TO BE LOCATED BY OWNER

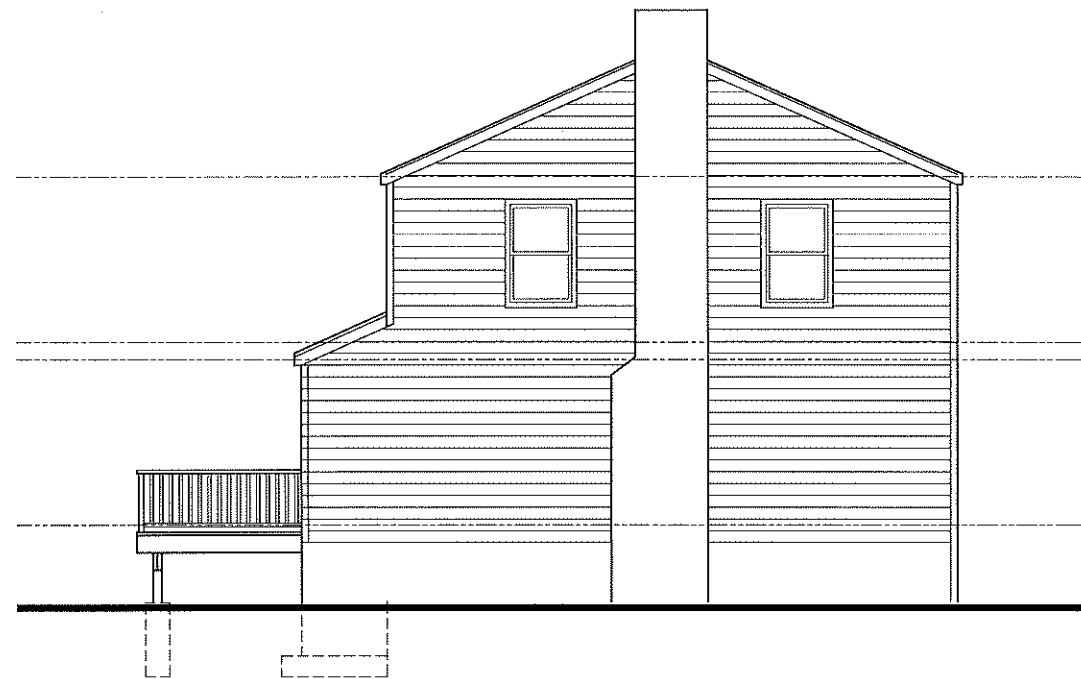
- ⊖ 12x4 FLOOR
 - ⊖ EXISTG. WALL TO BE REMOVED, PATCH & REPAIR ADJ. SURFACES AS NOTED, TO MATCH EXISTG.
 - ⊖ EXISTG. WALL TO REMAIN
 - ⊖ NEW WALL 2"x4" WOOD STUD CONSTRUCTION (UNLESS OTHERWISE NOTED)
- AREA OF NEW CONSTRUCTION: 140 SF
VOLUME OF NEW CONSTRUCTION: 1,120 CU/FT
USE GROUP-RESIDENTIAL 5
CONST CLASS-5B

- CODES USED
2018 IRC NJ EDITION
2018 IRC NY EDITION
2017 NEC
2018 NSFC
2018 IECC RESIDENTIAL
2018 ASHRAE 90.1 COMMERCIAL
2018 IMC
2018 IFGC
NIAAC 5-23-6 REHABILITATION SUBCODE
NIAAC 5-23-7 BARRIER FREE SUBCODE
2009 ANS1 A117.1 BARRIER FREE SUBCODE

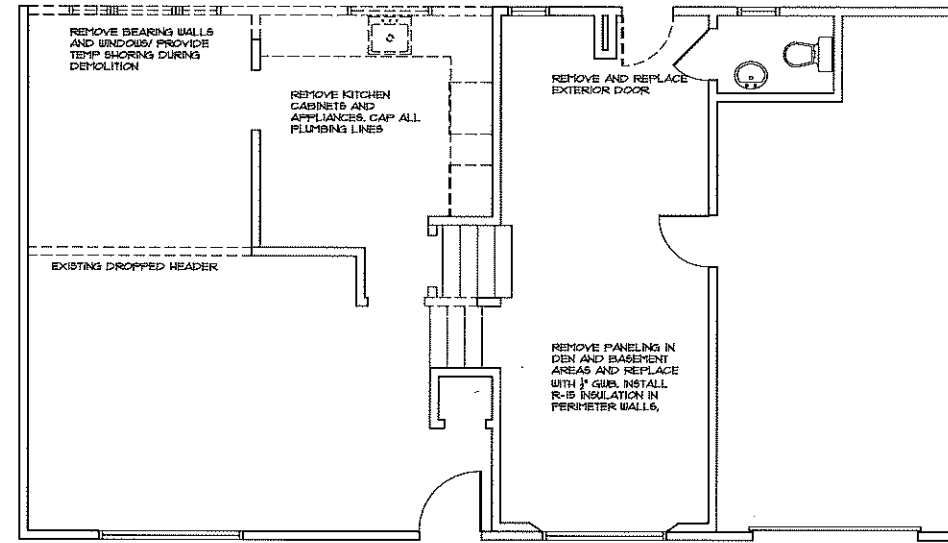
NO.	DATE	REVISION
ROCKWOOD ARCHITECTURE + DESIGN		
17-15 MAPLE AVENUE FAIR LAWN, NEW JERSEY 07410 (P) 201.773.8303 (F) 201.773.8304		
PROJECT: ZAUDERER RESIDENCE 438 WILDROSE AVENUE BERGENFIELD, NEW JERSEY		
DRAWING TITLE: COVER SHEET		
SEAL & SIGNATURE		DATE: 10/14/2021 SCALE: AS NOTED PROJECT No.: 21-113 DRAWING BY: RSG DWG No.: A-1
CHRISTOPHER RODRIGUEZ NJ LIC. 17819 NY LIC. 34895 PA LIC. 405364		
DWG: 1 OF 3		



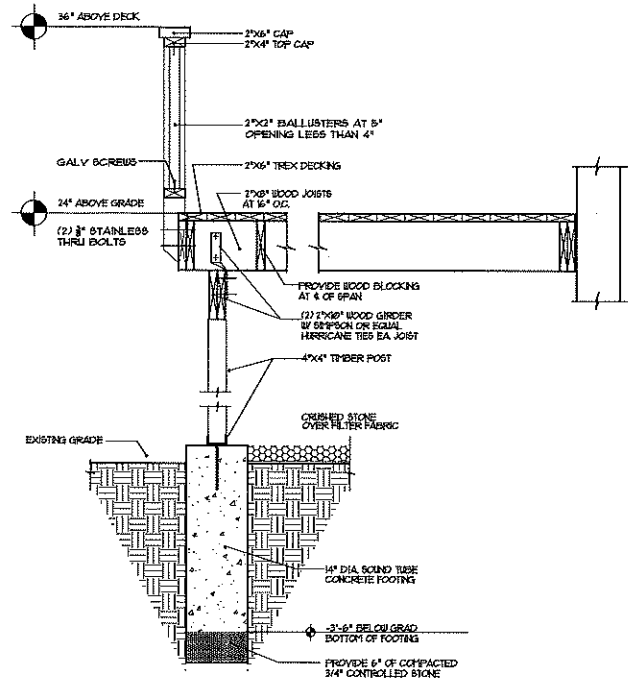
1 REAR ELEVATION
SCALE: 1/4"=1'-0"



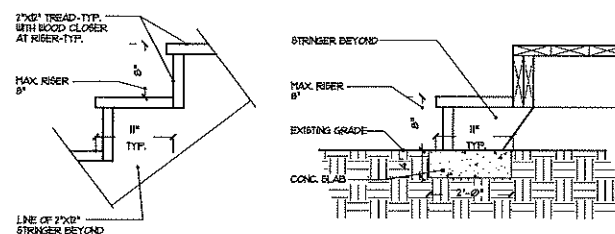
3 SIDE ELEVATION
SCALE: 1/4"=1'-0"



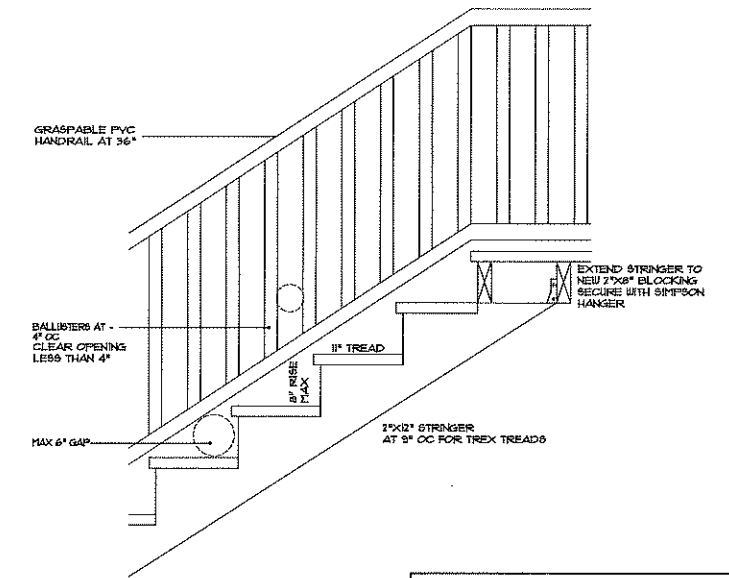
2 DEMOLITION PLAN
SCALE: 1/4"=1'-0"



4 WOOD DECK DETAIL
SCALE: 3/4"=1'-0"

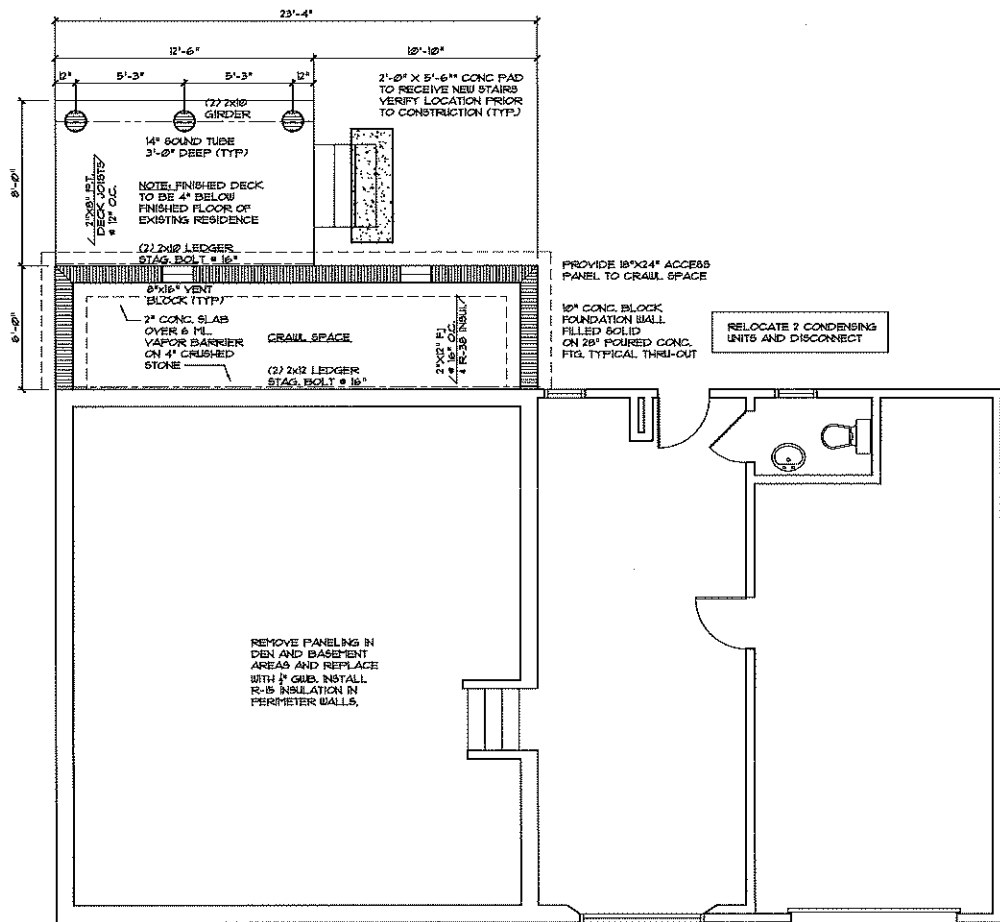


6 WOOD STAIR DETAILS
SCALE: NTS.

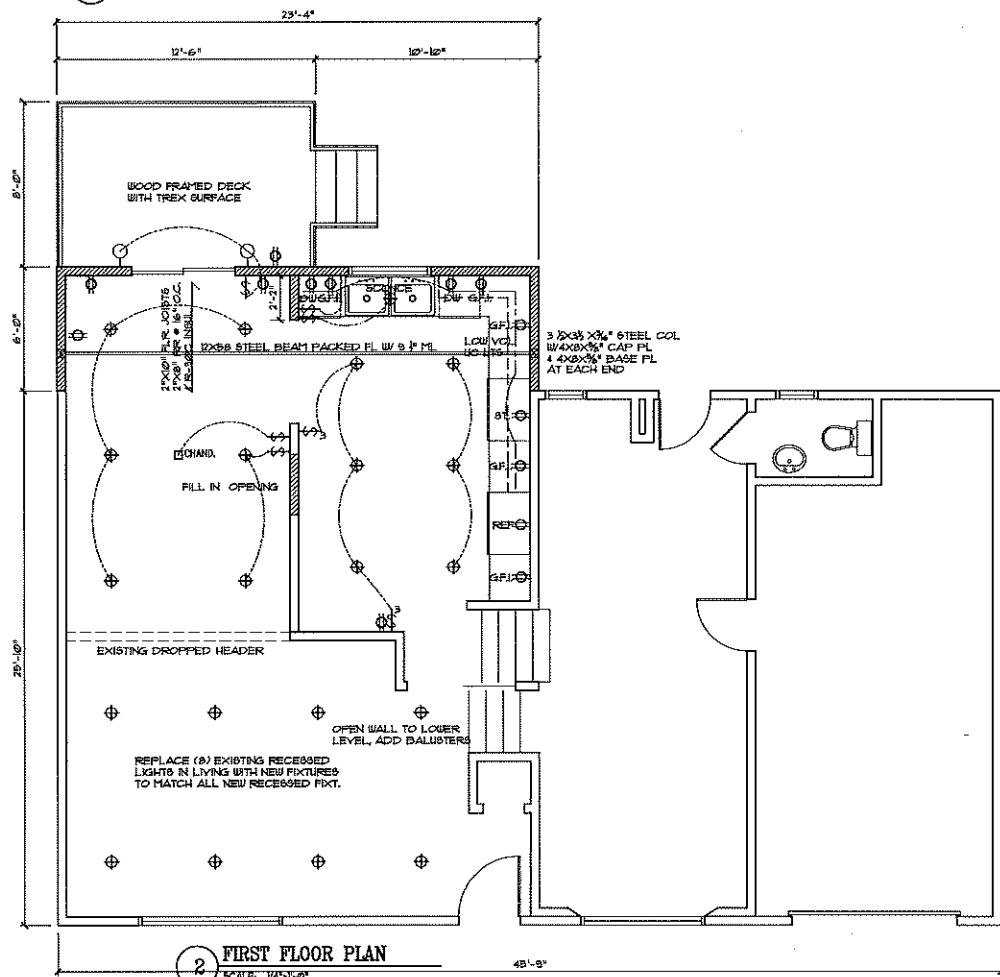


5 WOOD STAIR DETAILS
SCALE: NTS.

NO.	DATE	REVISION
ROCKWOOD ARCHITECTURE + DESIGN		
17-15 MAPLE AVENUE FAIR LAWN, NEW JERSEY 07410 (P) 201.773.8303 (F) 201.773.8304		
PROJECT: ZAUDERER RESIDENCE 438 WILDROSE AVENUE BERGENFIELD, NEW JERSEY		
DRAWING TITLE: ELEVATIONS & WOOD DECK DETAIL		
SEAL & SIGNATURE		DATE: 10/14/2021
		SCALE: AS NOTED
		PROJECT No.: 21-113
		DRAWING BY: RSG
		DWG No.:
		A-2
CHRISTOPHER RODRIGUEZ NJ LIC. 17519 NY LIC. 34895 PA LIC. 405364		DWG: 2 OF 3



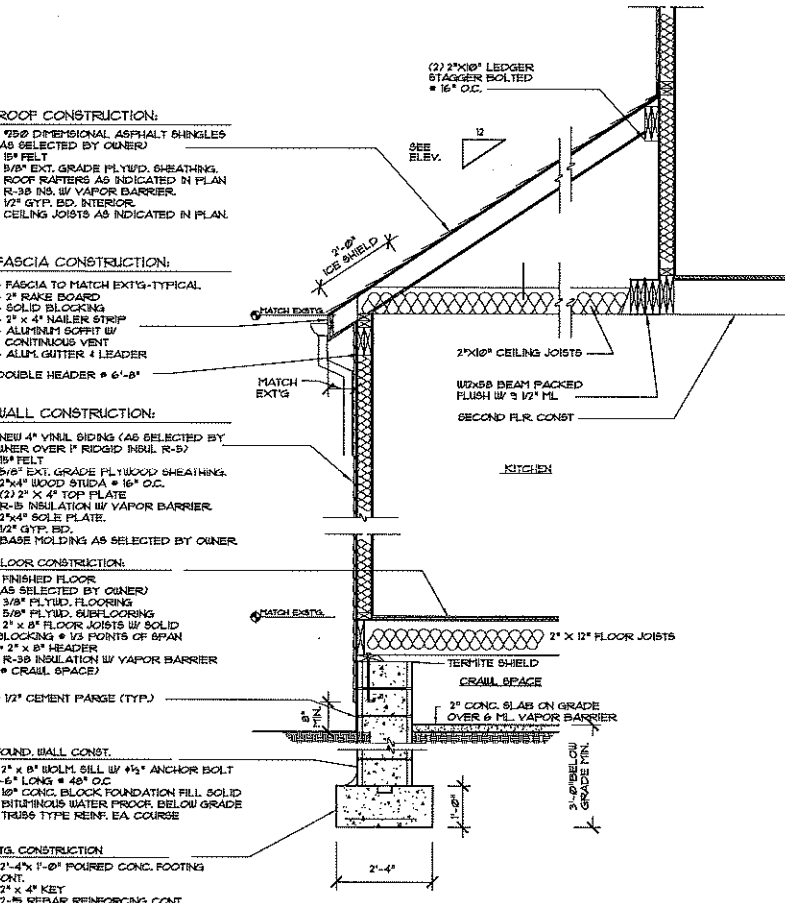
1 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



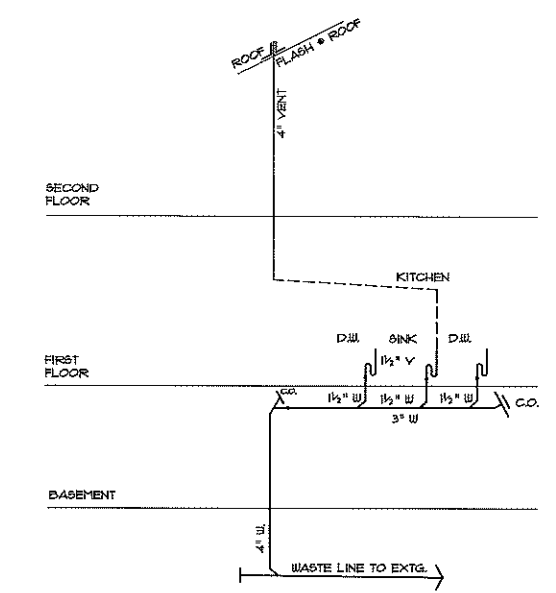
2 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

- ROOF CONSTRUCTION:**
- 750 DIMENSIONAL ASPHALT SHINGLES (AS SELECTED BY OWNER)
 - 15# FELT
 - 1/8" EXT. GRADE PLYWD. SHEATHING
 - ROOF RAFTERS AS INDICATED IN PLAN
 - R-38 INS. W/ VAPOR BARRIER
 - 1/2" GYP. BD. INTERIOR
 - CEILING JOISTS AS INDICATED IN PLAN
- FASCIA CONSTRUCTION:**
- FASCIA TO MATCH EXTY-TYPICAL
 - 2" RAKE BOARD
 - SOLID BLOCKING
 - 2" x 4" NAILER STRIP
 - ALUMINUM SOFFIT W/ CONTINUOUS VENT
 - ALUM. GUTTER & LEADER
 - DOUBLE HEADER # 6'-0"
- WALL CONSTRUCTION:**
- NEW 4" VINYL SIDING (AS SELECTED BY OWNER OVER 1" RIGID INSL. R-5)
 - 15# FELT
 - 1/8" EXT. GRADE PLYWOOD SHEATHING
 - 2"x4" WOOD STUDS # 16" O.C.
 - (2) 2" x 4" TOP PLATE
 - R-5 INSULATION W/ VAPOR BARRIER
 - 2"x4" SOLE PLATE
 - 1/2" GYP. BD.
 - BASE MOLDING AS SELECTED BY OWNER
- FLOOR CONSTRUCTION:**
- FINISHED FLOOR (AS SELECTED BY OWNER)
 - 3/8" PLYWD. FLOORING
 - 5/8" PLYWD. SUBFLOORING
 - 2" x 8" FLOOR JOISTS W/ SOLID BLOCKING # 1/3 POINTS OF SPAN
 - 2" x 8" HEADER
 - R-38 INSULATION W/ VAPOR BARRIER (# CRAWL SPACE)
 - 1/2" CEMENT PARGE (TYP.)
- FOUND. WALL CONST.**
- 2" x 8" BOLL. BILL W/ 1/2" ANCHOR BOLT 1'-6" LONG # 40" O.C.
 - 16" CONC. BLOCK FOUNDATION FILL SOLID
 - BITUMINOUS WATER PROOF. BELOW GRADE
 - TRUSS TYPE REIN. EA. COURSE
- FIG. CONSTRUCTION**
- 2'-4" x 1'-0" POURED CONC. FOOTING
 - CONT.
 - 2" x 4" KEY
 - 2-#5 REBAR REINFORCING CONT.
 - #3 REBAR TIES # 24" O.C. ACROSS
 - CEMENT COVE BASE

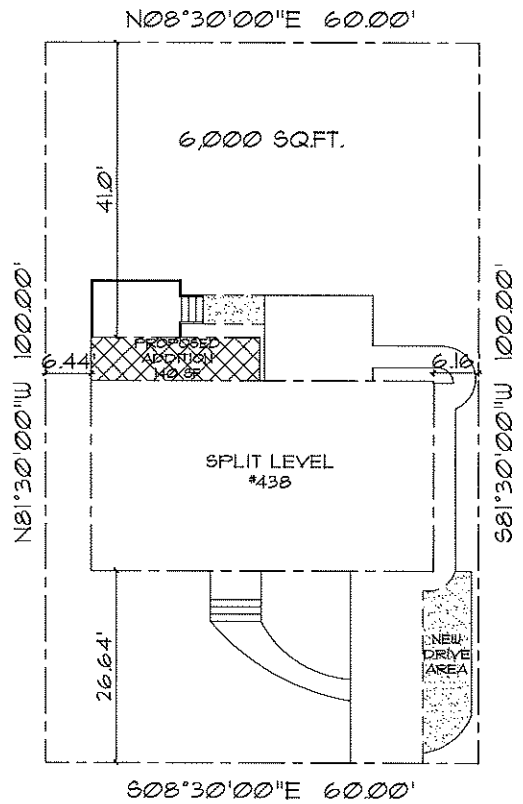
3 WALL SECTION
SCALE: 1/2"=1'-0"



4 PLUMBING RISER DIAGRAM
SCALE: NTS



NO.	DATE	REVISION
ROCKWOOD ARCHITECTURE + DESIGN		
17-15 MAPLE AVENUE FAIR LAWN, NEW JERSEY 07410 (P) 201.773.8303 (F) 201.773.8304		
PROJECT: ZAUDERER RESIDENCE 438 WILDROSE AVENUE BERGENFIELD, NEW JERSEY		
DRAWING TITLE: FLOOR PLANS & SECTION		
SEAL & SIGNATURE	DATE: 10/14/2021	SCALE: AS NOTED
CHRISTOPHER RODRIGUEZ NJ LIC. 17518 NY LIC. 54895 PA LIC. 405364	PROJECT No.: 21-113	DRAWING BY: CR
	DWG No.:	A-3
	DWG: 3 OF 3	



WILDROSE AVENUE

1 SITE PLAN
SCALE: 1" = 30'-0"

SURVEY INFORMATION TAKEN FROM A SURVEY PREPARED BY VINCENT E. VINEGRA OF HARBOR CONSULTANTS, INC, INC. ENGINEERS & SURVEYORS

SCHEDULE OF BULK REQUIREMENTS-R-6 ZONE (RESIDENTIAL)			
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