

filed application
7.6.21

BOROUGH OF BERGENFIELD

BOARD OF ADJUSTMENT

APPLICATION AND INSTRUCTIONS TO APPLICANTS

Instructions include: page 1-3

Application include: page 1-9

RECEIVED BY _____ Date _____

PROPERTY ADDRESS 51-59 Bedford Avenue

BLOCK 136 LOT 01

DATE APPLICATION RECEIVED _____

ESCROW FEES _____ Collected by _____

Date _____

APPLICATION FEES _____ Collected by _____

Date _____

#2136.1
6/1/21

FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME Bergen Regency LLC
ADDRESS c/o Kaiser Pathan 2 Asher Smith Rd., Pittstown, NJ 08867
OWNER'S NAME Bergen Regency LLC
OWNER'S ADDRESS 2 Asher Smith Road PHONE # 908-335-8229
Pittstown, NJ FED I.D.# or S S _____

Applicant will be represented at public hearing by _____

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the requirements of Section(s) 186-35 and 186-41 and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at NUMBER: 51-59 Bedford Avenue

DESIGNATED AS Block(s) 136 and Lot(s) 01 on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT B-2

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____

LOT COVERAGE _____ FRONT YARD _____ REAR YARD _____ SIDE YARD _____

TOTAL SIDE YARD OTHER (specify) USE, DRIVEWAY WIDTH, MIN BUFFER WIDTH

THE REASON FOR DESIRED VARIANCE/APPEAL

The construction of a multi-family residential building in a B-2 prohibited use zone.

DESCRIPTION OF PROPERTY

- 1. SIZE OF LOT 100 x 110 2. SQUARE FEET IN LOT 9892 SF
- 3. SIZE OF PRESENT BUILDINGS Lot is Vacant x 4. STORIES
- 5. TOTAL AREA 0 SQ. FT. 6. NUMBER OF ROOMS
- 7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 0 %
- 8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY N/A

9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES
 NO X (If yes, provide a copy of same)

10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY
Mixed Residential and Light Industrial

11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE PREMISES? YES X NO IF SO, DATE FILED
 DISPOSITION ZBA approval June 4, 2012 Resolution approved September 10, 2012

12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING ORDINANCE? YES NO X (if so, explain)

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE? YES NO X

14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD? YES NO X

15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER MUNICIPALITY? YES NO X

DESCRIPTION OF PROPOSED CHANGES

- 16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES _____ NO X
- 17. SIZE OF NEW ADDITION _____ x _____ SQ. FT.
- 18. SIZE OF NEW BUILDINGS 47.7 x 68.4 SQ. FT.
3066 AREA 35 HEIGHT
- 19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
33.4%
- 20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR 7

 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

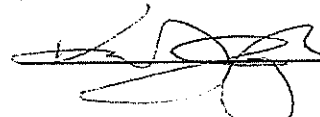
AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY

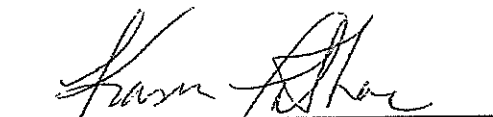
COUNTY OF Hunterdon ss.:

KAISER PATHAN of full age, duly sworn according to the law, deposes and says that he resides at 24 East Main Street, Unit #5375 in the Town of Clinton in the County of Hunterdon in the State of New Jersey that he is a member of Bergen Regency LLC, the owner in fee of real property lying in the Borough of Bergenfield, known and designated as Lot 1 in Block 136, commonly known as 51-59 Bedford Avenue and that he hereby authorizes Douglas M. Bern, Esq., of the law firm Bern Root LLC, 90 West Palisade Avenue, 2nd Floor, Englewood, New Jersey 07631 to make the within application in his behalf and that the statements in the said application are true:

Sworn to Before me this
22 day of June 2021



Notary Public



KAISER PATHAN

KIMBERLY J GALLAWAY-PEVERLEY
Notary Public
State of New Jersey
My Commission Expires May 20, 2026
I.D.# 2408725

Note: all partnership and Corporations-must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.

By Order of the Board of Adjustment of Bergenfield

AFFIDAVIT BOARD OF ADJUSTMENT
OF THE
BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY

COUNTY OF Hunterdon SS.:

BOROUGH OF BERGENFIELD
LLC

Bergen Regency

Name of Applicant

KAISER PATHAN, being duly sworn deposes and says; that he resides at 24 East Main Street, Unit # 5375 in the Town of Clinton, in the County of Hunterdon in the State of New Jersey and says that he a member of the appellant making appeal for a variation/appeal of the provisions of the Zoning Ordinance of the Borough of Bergenfield in connection with the property which is the subject matter of this appeal and known as number 51-59 Bedford Avenue designated as Block 136 and Lot 1 on the Assessment Map of the Borough of Bergenfield. That all statements made in this application, and statements made in the plans submitted herewith are true. The applicant further states that he is ready and able to proceed with the construction if, and when the application is granted.

Kaiser Pathan
KAISER PATHAN

Sworn to and Subscribed,
Before me this 22 day
of June 2021

[Signature]
Notary Public

KIMBERLY J. GALLAWAY-PEVERLEY
Notary Public
State of New Jersey
My Commission Expires May 20, 2026
I.D.# 2408725



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

May 25, 2021

Bergen Regency LLC
c/o Kaiser Pathan
2 Asher Smith Road
Pittstown, NJ 08867

RE: 51-59 Bedford Avenue

Dear Mr. Pathan

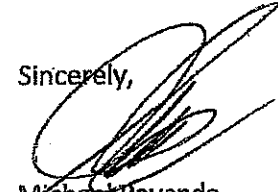
Your application for the project at 51-59 Bedford Avenue has been denied for the following reason:

- Change of use and expiration of variance. Borough Codes 186-35, variance expired December 31, 2014. Must seek new variance from Zoning Board.
- Application for a D-1 use variance to construct a multifamily residential building in a B-2 zone is a prohibited use. Also, as per Borough Code 186-41, maximum density of 12 units per acre and various bulk and dimensional variances.

You have the right to appeal my decision to the Zoning Board. You may also contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,


Michael Ravenda
Zoning Officer

PROPOSED RESIDENTIAL BUILDING

51- 59 SOUTH FRONT STREET- BERGENFIELD, NJ.

DRAWING INDEX

- A-1 TITLE SHEET, DATA SCHEDULES
- A-2 FOOTING AND FOUNDATION FLOOR PLAN
- A-3 GROUND FLOOR PLAN
- A-4 FIRST FLOOR PLAN
- A-5 SECOND FLOOR PLAN & ATTIC FLOOR PLAN
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- A-7 RIGHT SIDE AND LEFT SIDE ELEVATIONS
- A-8 GROUND FLOOR PLAN- ELECTRICAL LAYOUT
- A-9 FIRST FLOOR PLAN ELECTRICAL LAYOUT
- A-10 SECOND FLOOR PLAN ELECTRICAL LAYOUT
- A-11 CROSS SECTION-A-A
- A-12 PLUMBING RISER DIAGRAM AND DETAILS
- A-13 TYPICAL WALL SECTION AND DETAILS A, B, C, D, E, F, G
- A-14 FIRE WALL DETAILS
- A-15 WOOD FRAMING SPECIFICATIONS.
- A-16 SPECIFICATIONS.



BUILDING DATA:

OCCUPANCY AND CONSTRUCTION CLASSIFICATION

HEIGHT AND AREA LIMITATION AS PER IBC NEW JERSEY EDITION 2009 TABLE 503.

USE GROUP - R-2 MULTIFAMILY TYPE CONSTRUCTION 5-B ALLOWED TWO STORY HEIGHT 40 FT AREA 7,000 SQFT.

ACTUAL BUILDING:

USE GROUP - R-2 MULTIFAMILY RESIDENTIAL TYPE CONSTRUCTION 5-B ACTUAL STORIES 3, HEIGHT 35' FT FLOOR AREA 3,086 SQFT.

BUILDING IS FULLY SPRINKLER IN ACCORDANCE WITH NFPA SECTION 13A AND SECTION 903.3.1.2 OF THE IBC NJ EDITION 2009

SECTION 504.2 AUTOMATIC SPRINKLER SYSTEM. FOR BUILDINGS EQUIPPED WITH A SPRINKLER SYSTEM THE NUMBER OF STORIES CAN INCREASE BY ONE.

THEREFORE A THREE STORY BUILDING IS ALLOWED.

FIRE RESISTANCE REQUIREMENTS (TABLE 601 & 602 - OF IBC 2009)			
MIXED USE GROUP M & B MERCANTILE CONSTR. TYPE 5-B			
FIRE ELEMENT	REQUIRED	ACTUAL	FIRE TEST
PRIMARY STRUCTURAL FRAME COLUMNS AND GIRDERS	- 0 -	- 0 -	---
BEARING WALLS EXTERIOR SEE ITEM BELOW INTERIOR	- 0 -	- 0 -	---
NON BEARING WALLS & PARTITIONS EXTERIOR			
FIRE SEPARATION DISTANCE > 5	2 HR	2 HR	N/A
FIRE SEPARATION DISTANCE 5 ≤ X < 10	1 HR	1 HR	N/A
FIRE SEPARATION DISTANCE 10 ≤ X < 30	- 0 -	- 0 -	---
FIRE SEPARATION DISTANCE ≥ 30	- 0 -	- 0 -	---
NON BEARING WALLS & PARTITIONS INTERIOR	- 0 -	- 0 -	---
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	- 0 -	- 0 -	---
ROOF CONSTRUCTION AND SECONDARY MEMBERS	- 0 -	- 0 -	---

BUILDING IS FULLY SPRINKLER IN ACCORDANCE WITH NFPA AND SECTION 905 OF THE IBC NJ EDITION 2009

TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES
ONE HOUR FIRE SEPARATION WALL AND FLOOR CEILING ASSEMBLIES 1'S REQUIRED BETWEEN GARAGES GROUP- S-2 AND DWELLING UNITS R-2 FOR A SPRINKLERED BUILDING FLOOR /CEILING ASSEMBLY PROVIDED 1HOUR RATED UL DES L-519 WALL ASSEMBLY PROVIDED 1 HOUR FIRE RATED UL DES U305

SECTION 420.2 SEPARATION WALLS REQUIRES ONE HOUR FIRE PARTITION BETWEEN APARTMENT UNITS IN R-2 USE GROUP AS PER SECTION 709.3

TWO HOUR FIRE RATED FIRE WALL ASSEMBLY IS PROVIDED BETWEEN APARTMENTS AT FIRST AND SECOND FLOOR AT GROUND FLOOR AN ONE HOUR FIRE RATED WALL ASSEMBLY IS PROVIDED UL DES U305

REVISIONS	KEY	DATE	DESCRIPTION

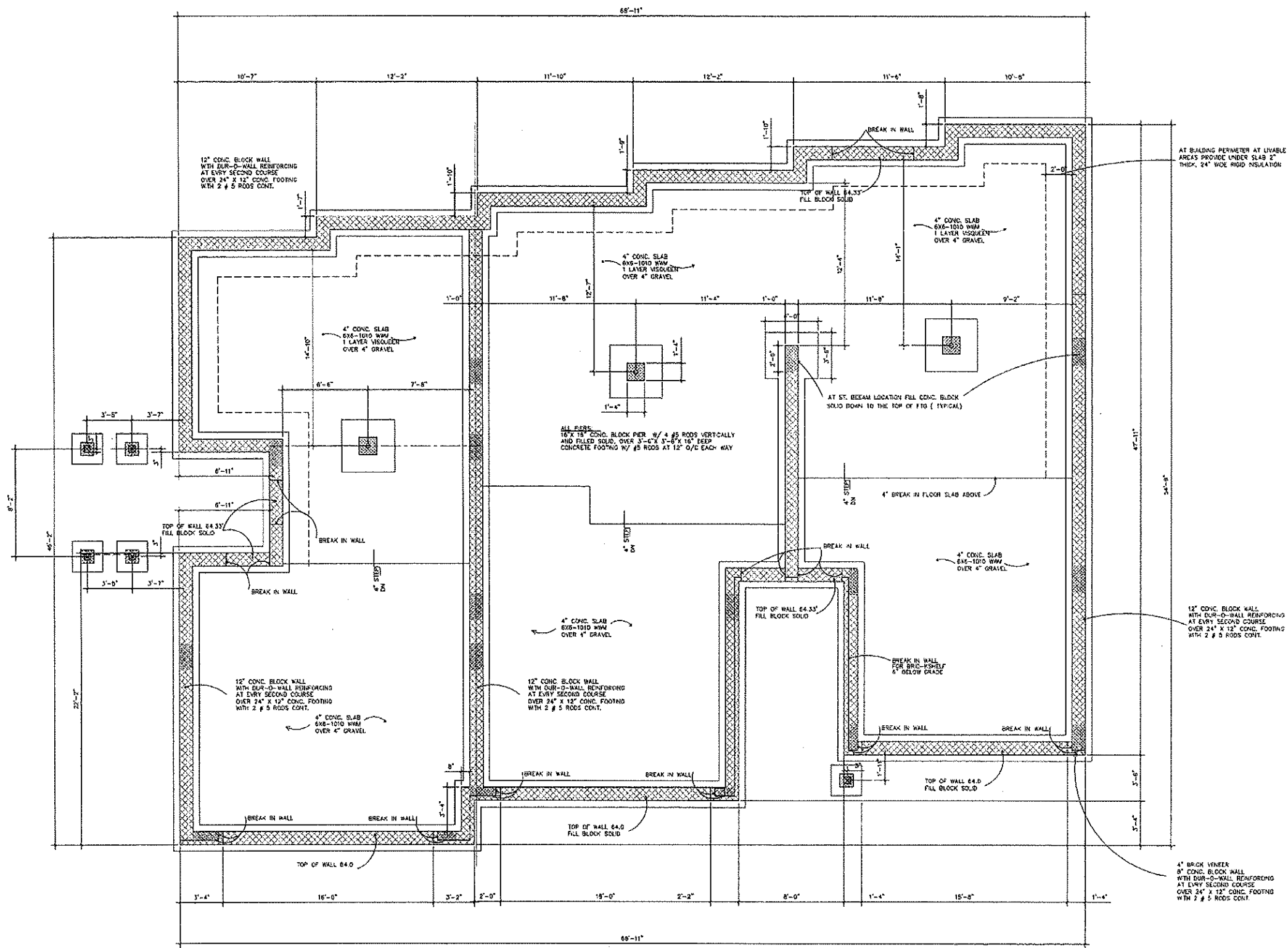
PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET- BERGENFIELD, NJ.

MARIOS LACHANARIS, ARCHITECT LLC.

1610 CENTER AVENUE - FORT LEE, N.J. 07024 TEL. # 201-947-4804
E-MAIL: lachanaris@yahoo.com FAX. # 201-947-2006

MARIOS LACHANARIS- NJ IA 12588,
NJ AC-843
N.Y. 027649
N.C.A.R.B. 47499

JOB NO. 1081
SHEET A-1
DATE 11-25-2011



FOUNDATION & FOOTING PLAN
 SCALE: 1/4" = 1'-0"

GROUNDING ELECTRODES NOTE:
 PROVIDE INSIDE CONCRETE FOOTINGS 2-#5 REBARS CONT. MIN. 20'-0" LONG AND BE SURROUNDED WITH MINIMUM OF 2" OF CONCRETE. REBARS TO BE WELDED TOGETHER TO FORM A LOW RESISTANCE GROUNDING ELECTRODE. ELECTRICIAN TO GROUND ELECTRICAL SYSTEM AS REQUIRED BY NEC AND LOCAL CODES AND REGULATIONS. ALL WORK TO BE INSPECTED AND APPROVED BY BUILDING INSPECTOR.

FOOTING NOTE:
 ALL FOOTINGS TO REST ON UNDISTURBED VIRGIN SOIL OF MIN. 1.5 TONS BEARING CAPACITY

WINDOW OPENING:
 FOR MASONRY WINDOW OPENINGS
 ADD TO WINDOW R.O. 1.5" ALL AROUND FOR 2" X 6"

LINTEL SCHEDULE
 L-1 3- 3 1/2" X 3 1/2" X 5/16" ST. ANGLES
 L-2 3- 5" X 3 1/2" X 3/8" ST. ANGLES
 L-3 3- 6" X 3 1/2" X 3/8" ST. ANGLES

REVISIONS			DESCRIPTION
KEY	DATE		

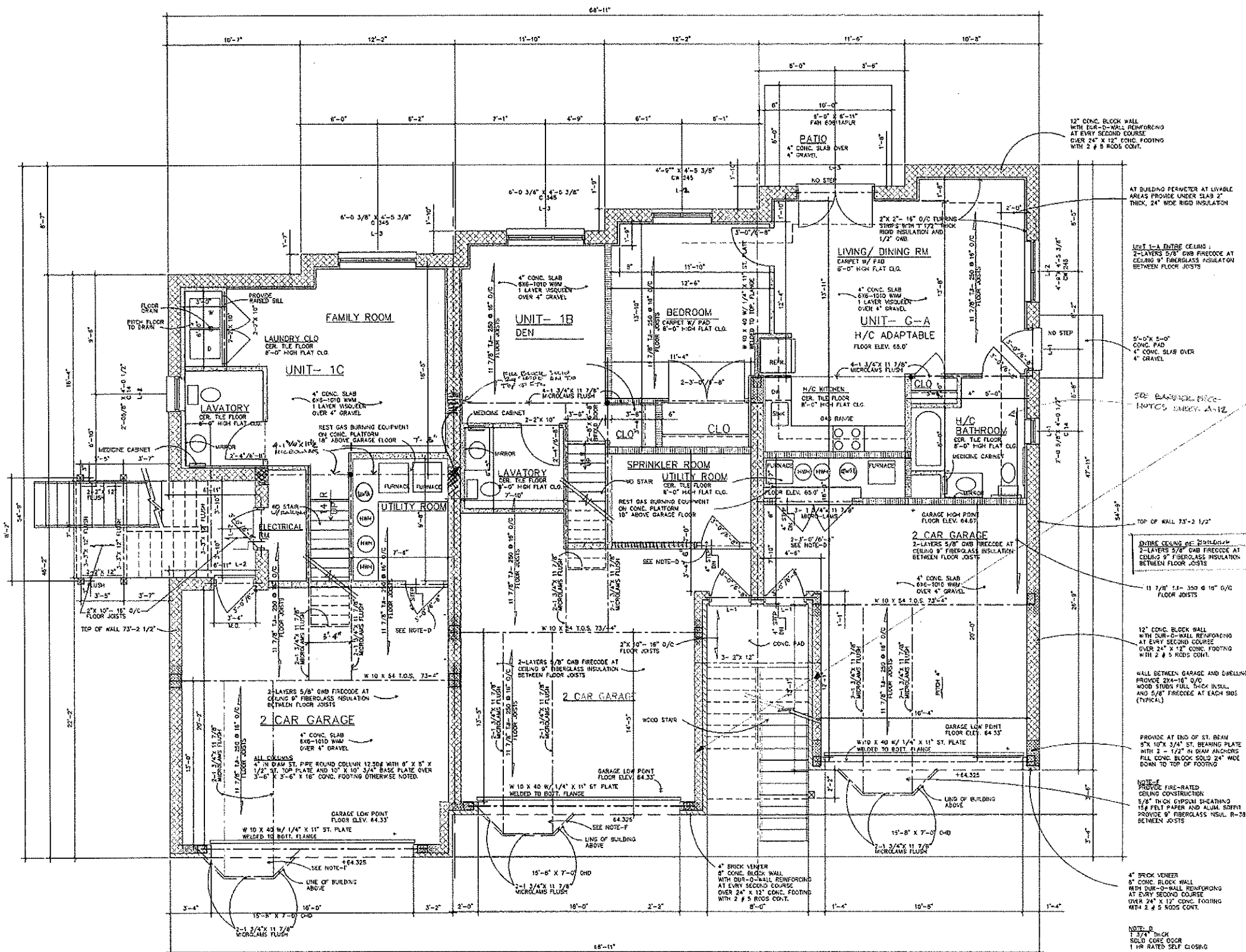
PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET- BERGENFIELD, NJ.

FIRST FLOOR PLAN
MARIOS LACHANARIS ARCHITECT LLC.
 110 CENTER AVENUE FORT LEE, NJ 07024
 E-MAIL: lachanarism@yahoo.com FAX: # 201-947-2006

MARIOS LACHANARIS- NJ IA 12588,
 NJ AC-843
 N.Y. 027849
 N.C.A.R.B. 47499

SIGNATURE: *Marios Lachanaris*
 DATE: 11-25-2012
 SHEET: A-2

JOB NO. 1011



12" CONC. BLOCK WALL WITH DUB-O-WALL REINFORCING AT EVERY SECOND COURSE OVER 24" X 12" CONC. FOOTING WITH 2 # 5 RODS CONT.

AT BUILDING PERIMETER AT LIVABLE AREAS PROVIDE UNDER SLAB 2" THICK, 24" WIDE RIGID INSULATION

ENTIRE CEILING OF 2nd FLOOR: 2-LAYERS 5/8" GIB FIRECODE AT CEILING 9" FIBERGLASS INSULATION BETWEEN FLOOR JOISTS

11 7/8" 1x1-350 @ 16" O/C FLOOR JOISTS

12" CONC. BLOCK WALL WITH DUB-O-WALL REINFORCING AT EVERY SECOND COURSE OVER 24" X 12" CONC. FOOTING WITH 2 # 5 RODS CONT.

WALL BETWEEN GARAGE AND DWELLING PROVIDE 2x4-16" O/C WOOD STUDS FULL THICK INSUL. AND 5/8" FIRECODE AT EACH END (TYPICAL)

PROVIDE AT END OF ST. BEAM 5" X 10" 3/4" ST. BEARING PLATE WITH 2 - 1/2" # 4 SHAP ANCHORS FULL CONC. BLOCK SOLID 24" WIDE DOWN TO TOP OF FOOTING

NOTE: FIRE-RATED CEILING CONSTRUCTION 5/8" THICK GYPSUM SHEATHING 1/2" FELT PAPER AND ALUM. ROOFING PROVIDE 9" FIBERGLASS NSUL. R-39 BETWEEN JOISTS

4" BRICK VENEER 8" CONC. BLOCK WALL WITH DUB-O-WALL REINFORCING AT EVERY SECOND COURSE OVER 24" X 12" CONC. FOOTING WITH 2 # 5 RODS CONT.

NOTE: D 1 3/4" THICK SOLID CORE DOOR 1 1/2" RATED SELF CLOSING

GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

BUILDING IS FOUND UNOCCUPIED
SEE SHEET A-2 FOR UNIT 1C DETAILS

REVISIONS	KEY	DATE	DESCRIPTION

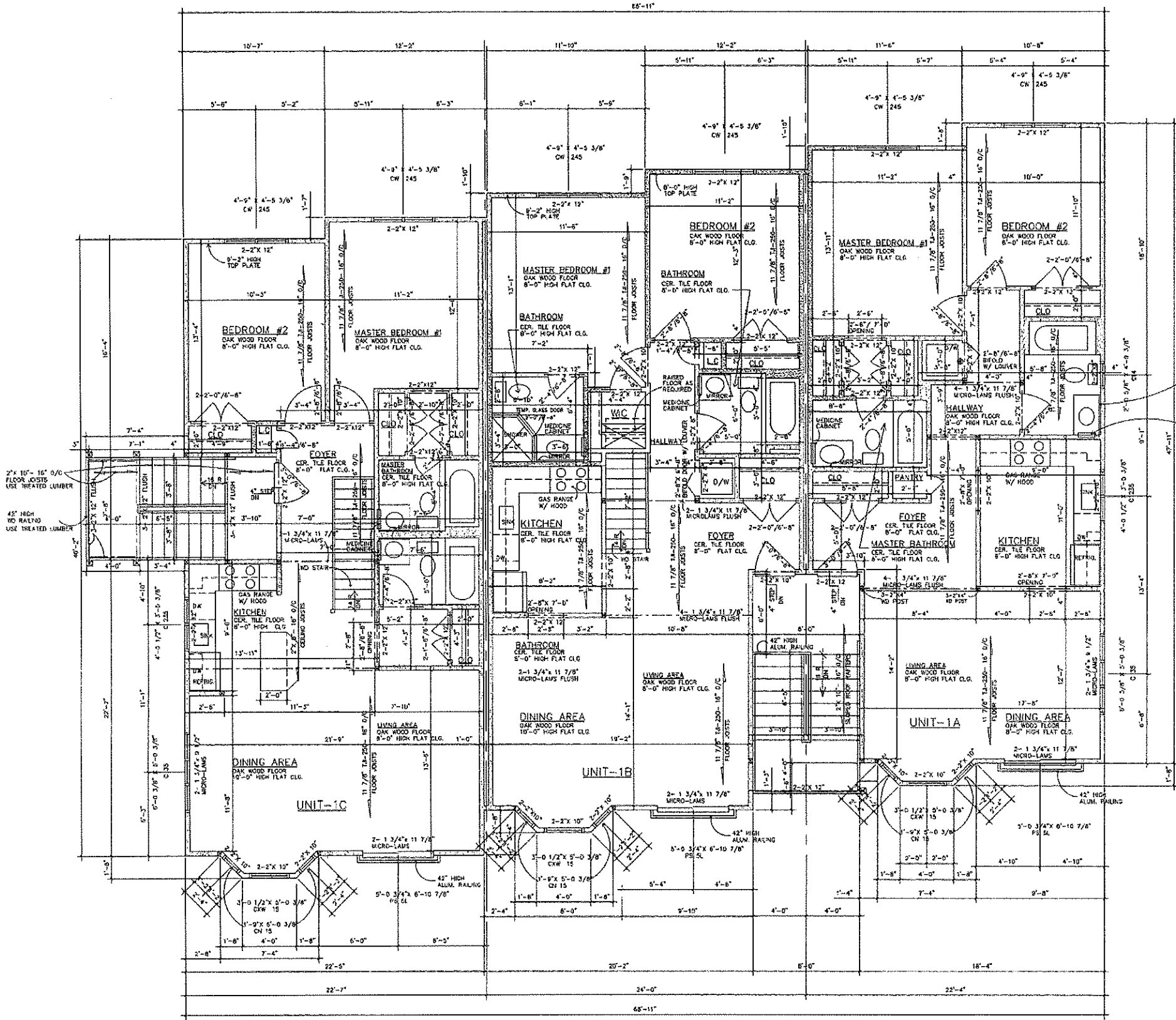
PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET- BERGENFIELD, NJ.

MARIOS LACHANARIS, ARCHITECT LLC.
1610 CENTER AVENUE - FORT LEE, NJ 07024 TEL: # 201-947-4904
E-MAIL: lachanaris@yaboo.com FAX: # 201-947-2006

MARIOS LACHANARIS- NJ 1A 1258B, NJ AC-843
N.Y. 027649
N.C.A.R.B. 47499

Marios Lachanaris
SIGNATURE
11-25-2012
DATE

JOB NO. 1041
SHEET 4 OF 3



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXPERIENCE OF ARCHITECT
As Architect, registered or implied, is shown by the Architect except as noted by
and built in a separate agreement between the Architect and Owner or Owner's
Contractor. No liability of Architect shall be shown except the Form or Special
letters noted when the Architect shall be engaged in writing or preparing such
contract or plans or specifications. No liability of Architect shall be shown
unless of construction, completion and payment of contract, see section
of contract for extending under special circumstances.

REVISIONS	KEY	DATE	DESCRIPTION

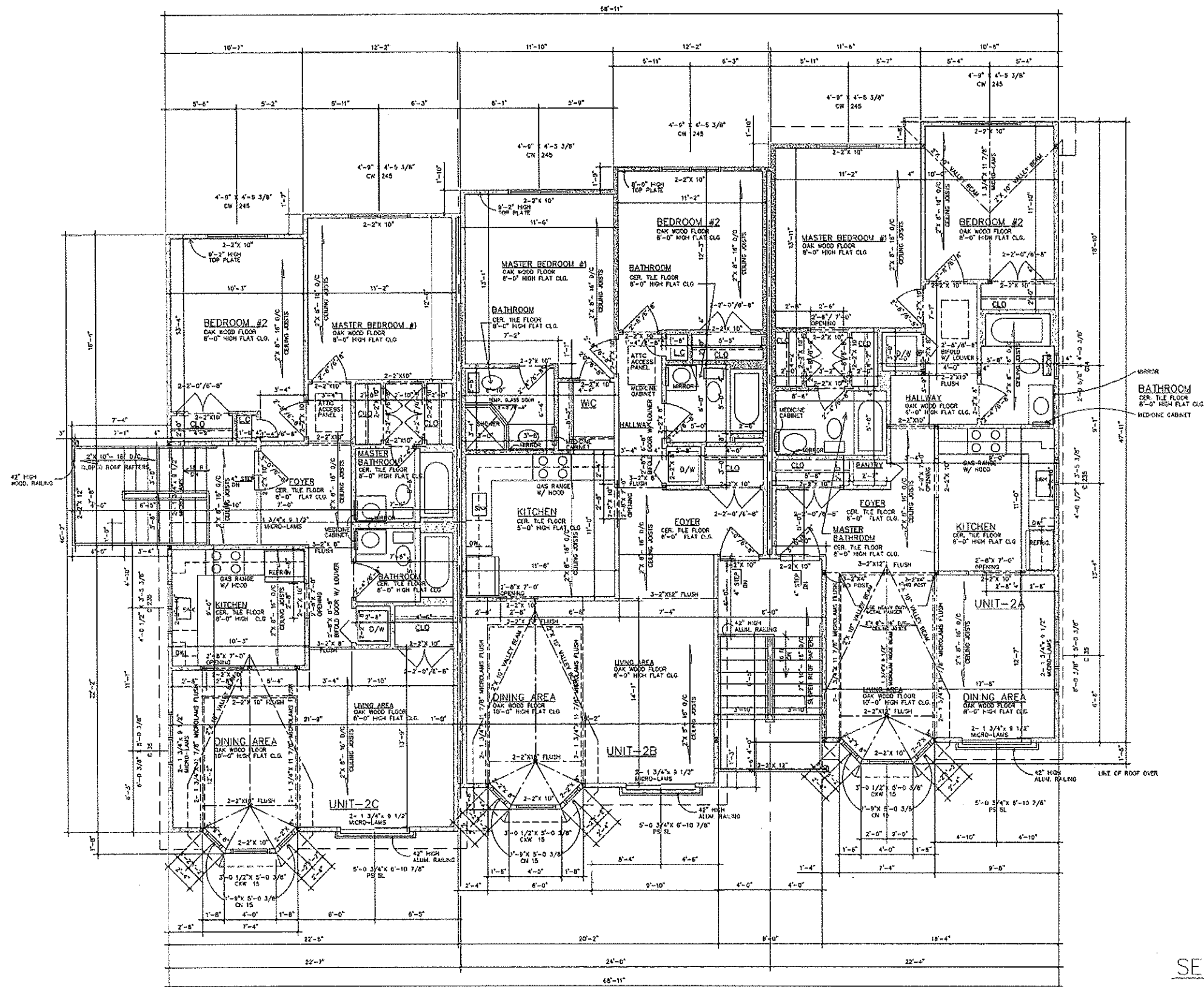
PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET- BERGENFIELD, NJ.

MARIOS LACHANARIS, ARCHITECT LLC.
1610 CENTER AVENUE - FORT LEE, NJ 07024 TEL. # 201-947-4904
E-MAIL: lachanaris@yahoo.com FAX # 201-947-2006

MARIOS LACHANARIS- NJ IA 12588,
NJ AC-843
N.Y. 027649
N.C.A.R.B. 47499

SIGNATURE
11-25-2012
DATE

JOB NO.
104
SHEET
4 of 4



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS		
NO.	DATE	DESCRIPTION

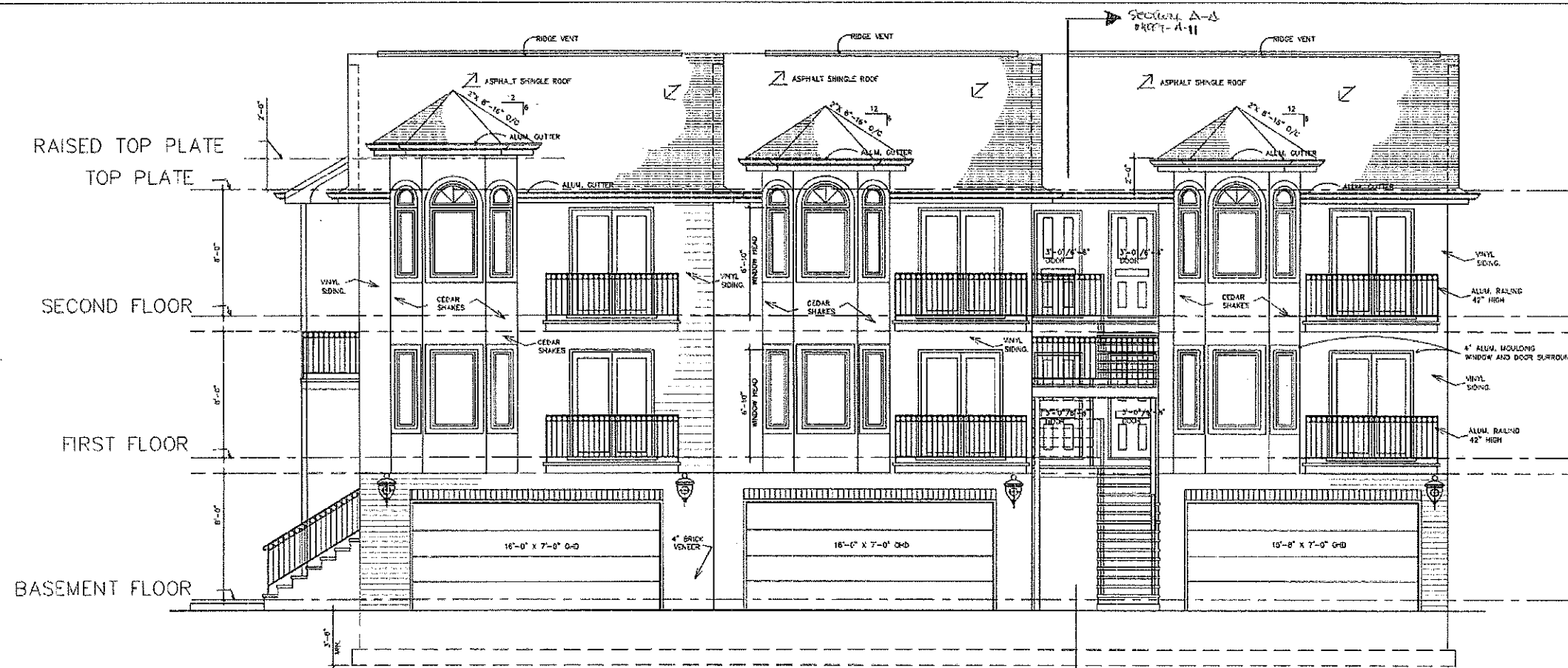
PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET- BERGENFIELD, NJ.

MARIOS LACHANARIS, ARCHITECT LLC.
1610 CENTER AVENUE - FORT LEE, NJ 07024 TEL. # 201-947-4904
E-MAIL: lachanarism@alioo.com FAX. # 201-947-2006

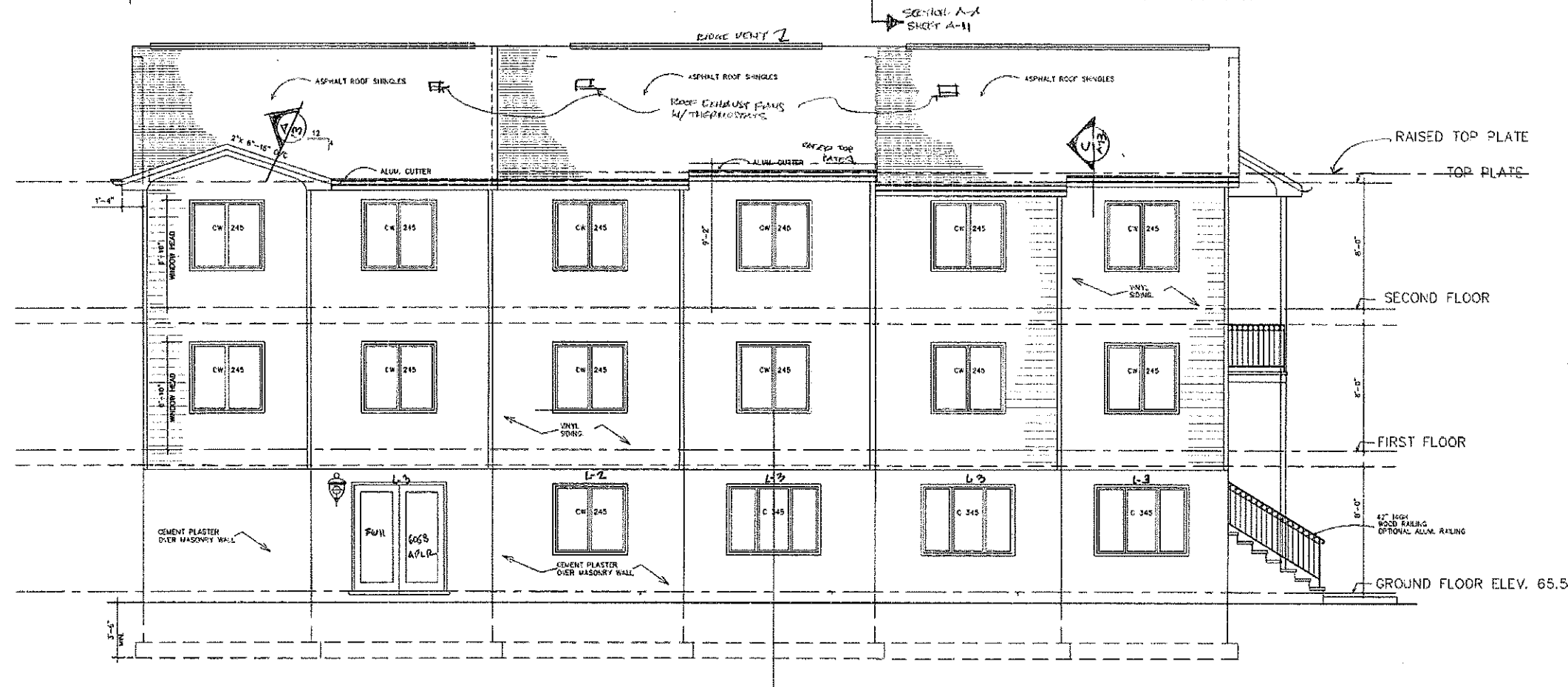
MARIOS LACHANARIS - NJ IA 12588,
NJ AC-843
N.Y. 027649
N.C.A.R.B. 47499

SIGNATURE
17-25-2012
DATE

JOB NO.
1041
SHEET
A of 15



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"

REVISIONS	KEY	DATE	DESCRIPTION

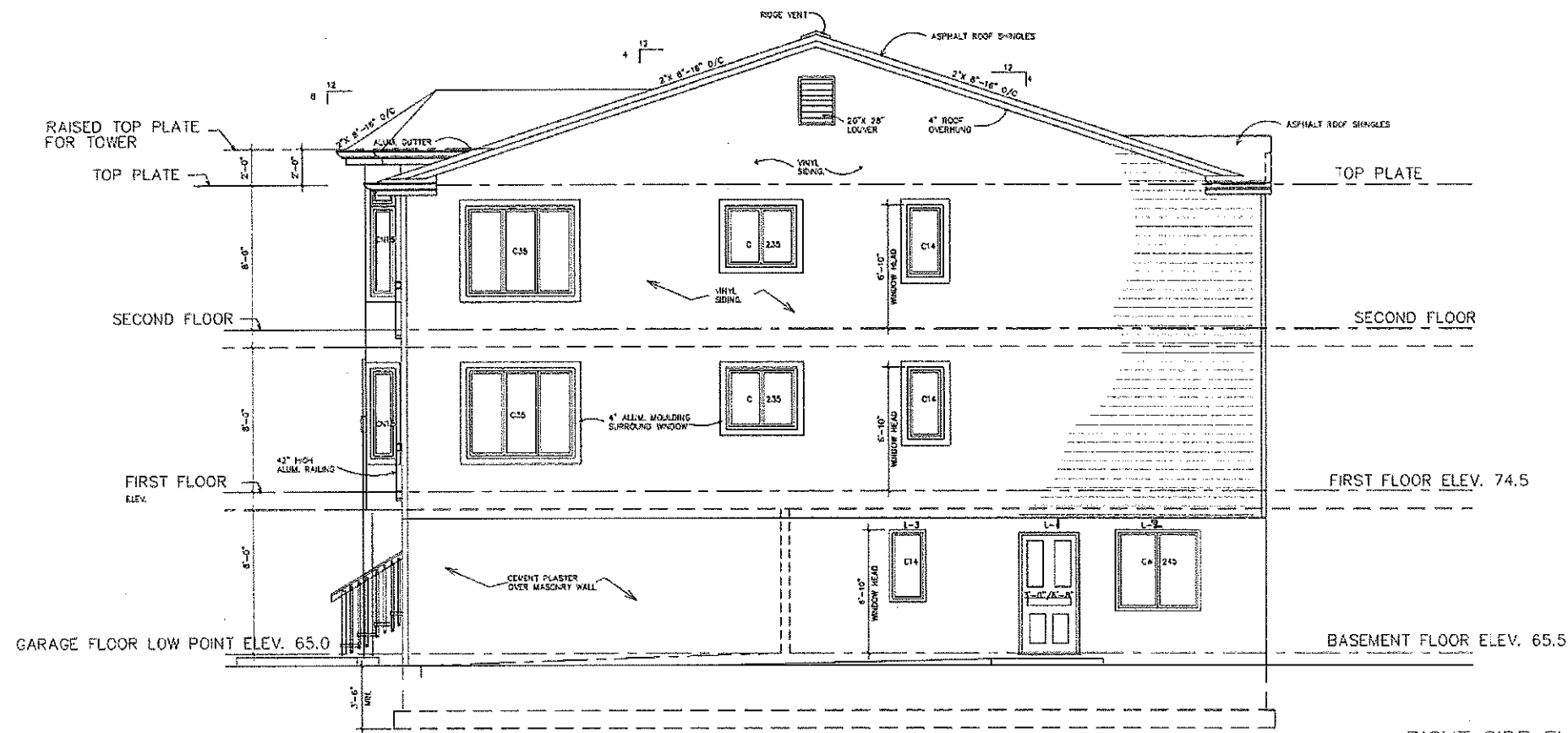
PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET- BERGENFIELD, NJ.

MARIOS LACHANARIS, ARCHITECT LLC.
1616 CENTER AVENUE - FORT LEE, NJ 07024 TEL. # 201-947-4904
E-MAIL: lachanaris@yzoo.com FAX: # 201-947-2066

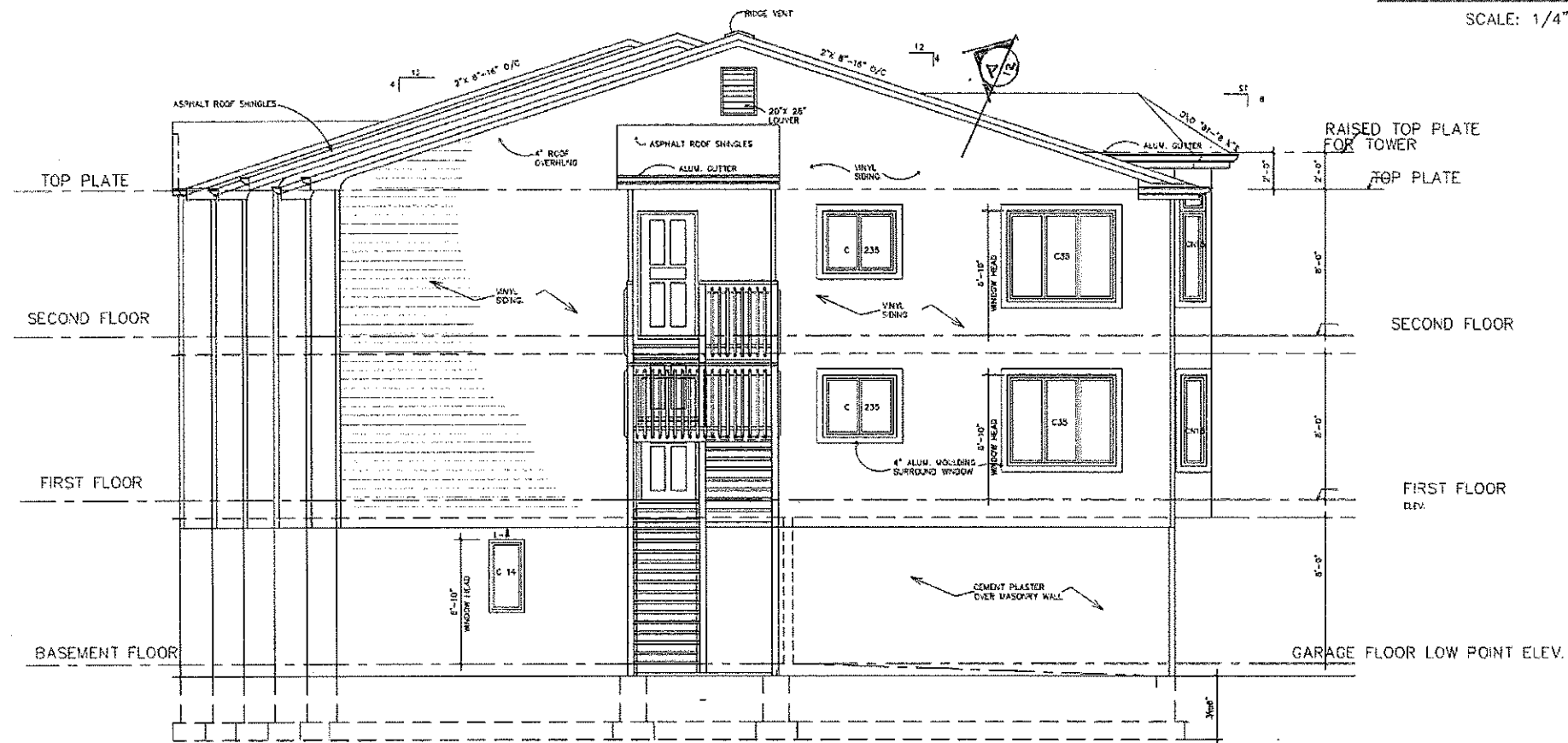
MARIOS LACHANARIS- NJ IA 12586,
NJ AC-843
N.Y. 027649
N.C.A.R.B. 47499

SIGNATURE
11-26-2012
DATE

JOB NO. 1011
SHEET A-6



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

CONDITIONS OF CONTRACT
The drawings, specifications or contract documents shall be read in their entirety and in conjunction with the General Conditions of Contract. The drawings shall prevail over the specifications and the specifications shall prevail over the contract documents. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The contractor shall be responsible for the safety of the construction site and for the protection of the existing structures and utilities. The contractor shall be responsible for the quality of the work and for the completion of the project within the specified time frame.

REVISIONS	KEY	DATE	DESCRIPTION

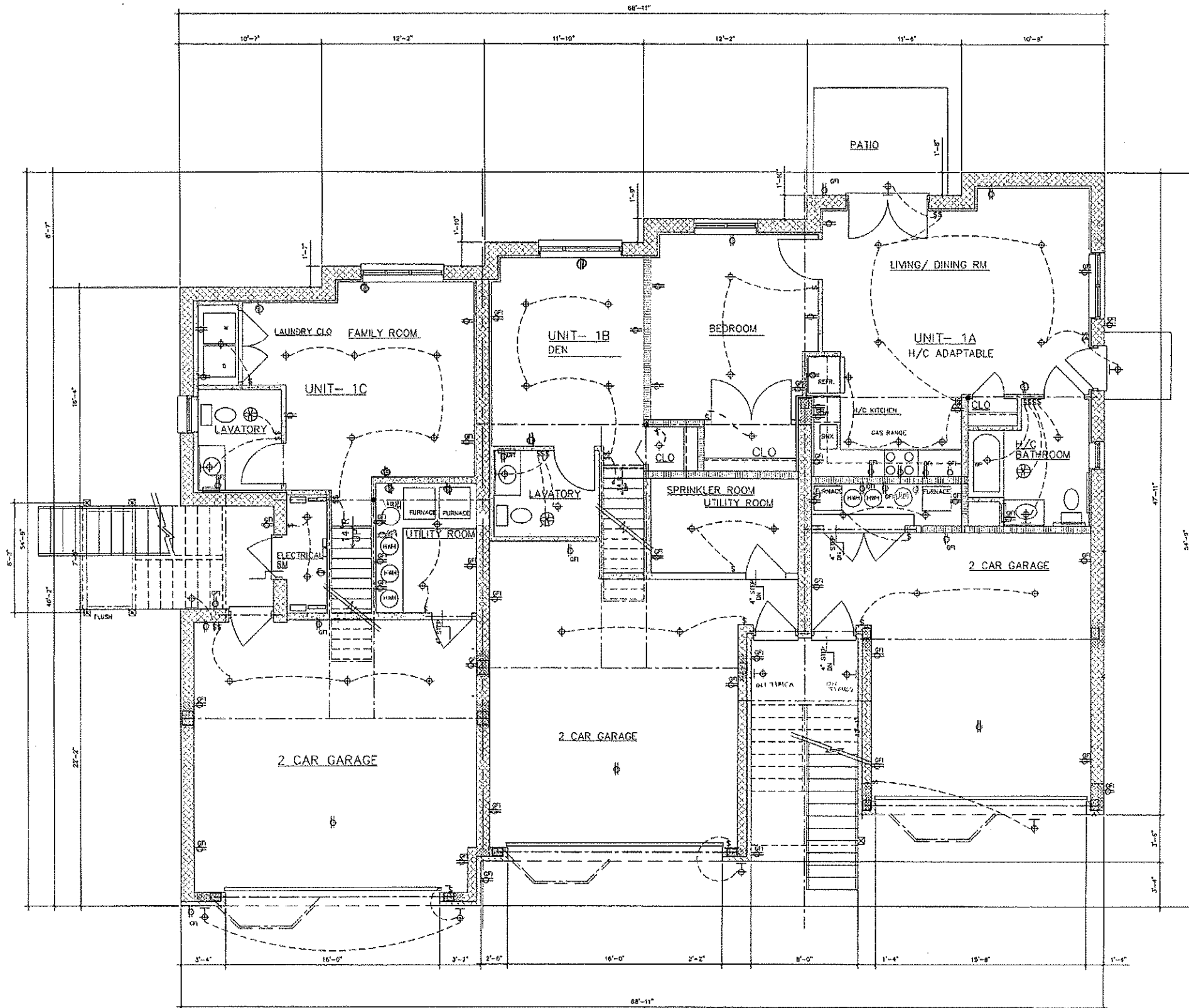
PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET- BERGENFIELD, NJ.

MARIOS LACHANARIS, ARCHITECT LLC.
1610 CENTER AVENUE - FORT LEE, NJ 07024 TEL. # 201-947-4904
E-MAIL: lachanaris@yahoo.com FAX. # 201-947-2006

MARIOS LACHANARIS- NJ IA 12588,
NJ AC-843
N.Y. 027649
N.C.A.R.B. 47499

Marios Lachanaris
SIGNATURE
11-25-2012
DATE

JOB NO.
1044
SHEET
A-7



**ELECTRICAL LAYOUT
GROUND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

NOTE TO ELECTRICAL CONTRACTOR
THE ELECTRICAL LAYOUTS SHOWN IS FOR DIRECTION ONLY
ELECTRICAL CONTRACTOR TO DESIGN ELECTRICAL SYSTEM
IN COMPLIANCE WITH THE NEC EDITION 2008
AND ANY LOCAL AND STATE RULES AND REGULATIONS.

REVISIONS	KEY	DATE	DESCRIPTION

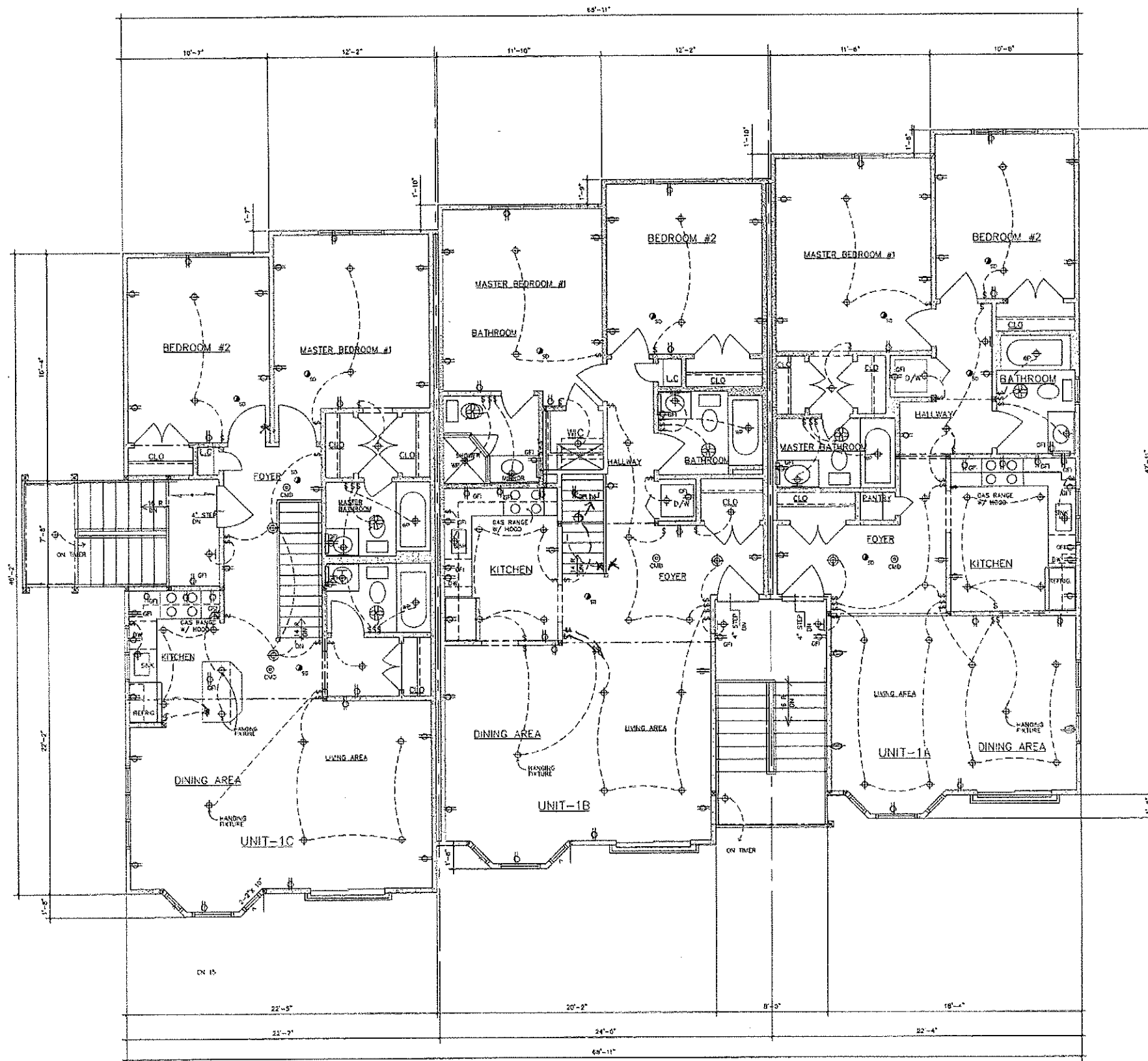
**PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET- BERGENFIELD, NJ.**

MARIOS LACHANARIS, ARCHITECT LLC.
1410 CENTER AVENUE - FORT LEE, NJ 07024 TEL. # 201-947-4904
E-MAIL: lachanarism@yahoo.com FAX. # 201-947-2006

MARIOS LACHANARIS - NJ A 12586,
NJ AC-B43
N.Y. 027649
N.C.A.R.B. 47499

Signature: *Marios Lachanaris*
DATE: 11-25-2012

JOB NO. 1017
SHEET A-12



ELECTRICAL LAYOUT
 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	KEY	DATE	DESCRIPTION

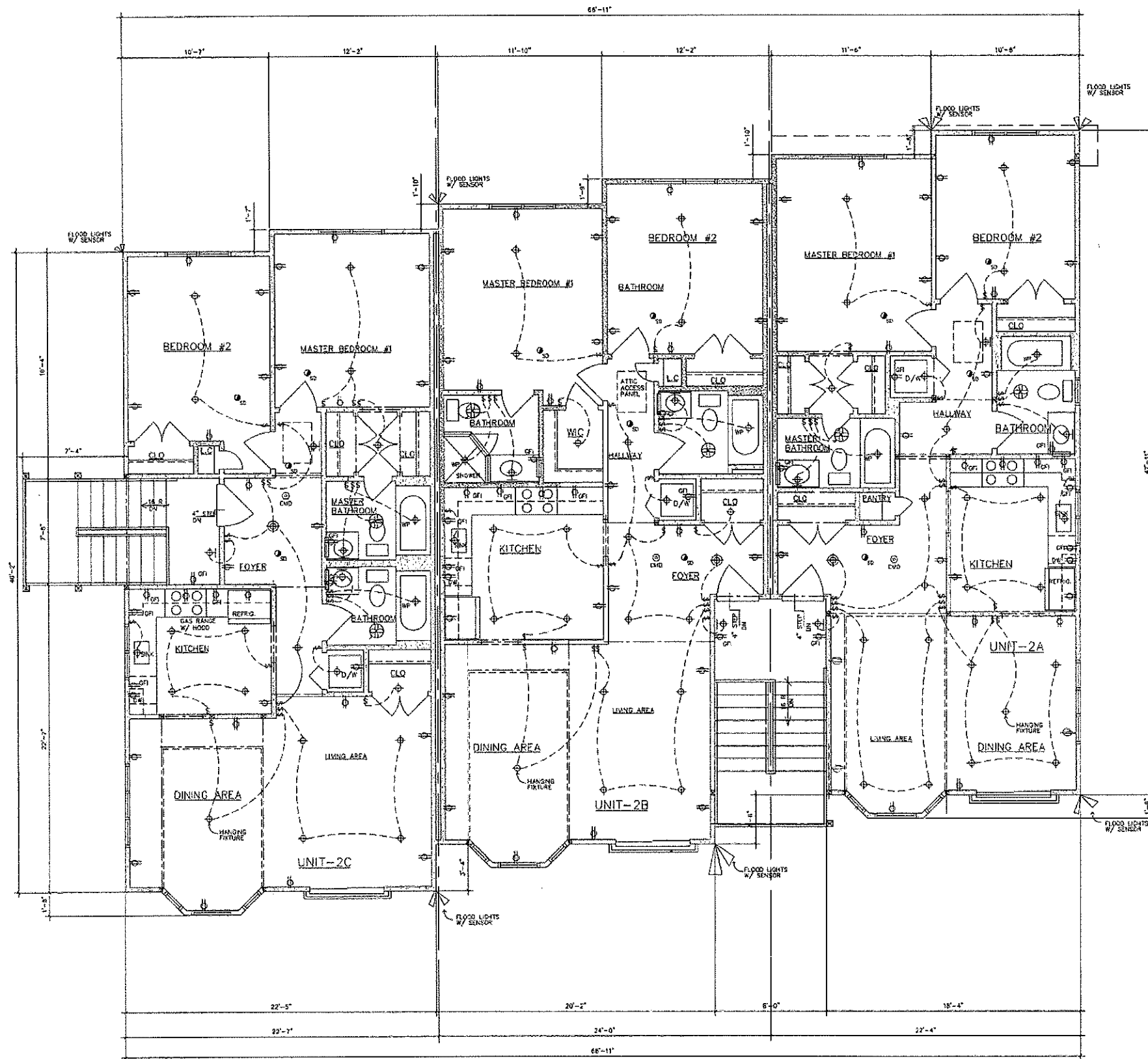
PROPOSED RESIDENTIAL BUILDING
 SOUTH FRONT STREET- BERGENFIELD, NJ.

MARIOS LACHANARIS, ARCHITECT LLC.
 1610 CENTER AVENUE - FORT LEE, NJ 07024 TEL. # 201-947-3994
 E-MAIL: lachanarism@yahoo.com FAX # 201-947-2096

MARIOS LACHANARIS- NJ IA 1258B,
 NJ AC-843
 N.Y. 027649
 N.C.A.R.B. 47499

SIGNATURE
 1/8-25-2012
 DATE

JOB NO.
 1011
 SHEET
 A-19



- KEY TO PLAN**
- ⊙ HAT LIGHTING FIXTURE 100 W
 - ⊕ SURFACE MOUNTED LIGHTING FIXTURE BY OWNER
 - ⊖ RECESSED CLO LIGHTING FIXTURE
 - ⊕ LANDSCAPING LIGHTS
 - ⊕ WATER PROOF LIGHTING FIXTURE
 - ⊕ WALL MOUNTED LIGHTING FIXTURE
 - ⊕ ELECTR. OUTLET
 - ⊕ WATER PROOF OUTLET
 - ⊕ ELECTR. SWITCH
 - ⊕ ELECTR. SWITCH WITH DRAWER
 - ⊕ EXTERIOR FLOOD LIGHTS WITH MOTION DETECTOR
 - ⊕ SMOKE DETECTOR
 - ⊕ CARBON MONOXIDE DETECTOR
 - ⊕ HEAT DETECTOR
 - ⊕ EXHAUST FAN WITH DUCT TO EXTERIOR

CARBON MONOXIDE DETECTOR NOTE:
 CARBON MONOXIDE DETECTORS TO BE HARD WIRE AND INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE DETECTORS. DETECTORS TO BE EQUIPPED WITH A SECONDARY BACK-UP BATTERY POWER SOURCE.

**ELECTRICAL LAYOUT
 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"**

CONDITIONS OF WARRANTY		
<small>The drawings, approvals or permits, as made by the architect herein are only for the use of the client and are not to be used for any other purpose. The architect shall not be responsible for any errors or omissions in the drawings or for any damage or injury resulting therefrom. The client shall be responsible for obtaining all necessary permits and for the accuracy of the information, conditions and material furnished to the architect. The architect shall not be responsible for any delay or interruption of work or for any other consequences of any nature whatsoever resulting from the client's failure to provide the information, conditions and material as required.</small>		
REVISIONS	KEY	DATE
		DESCRIPTION

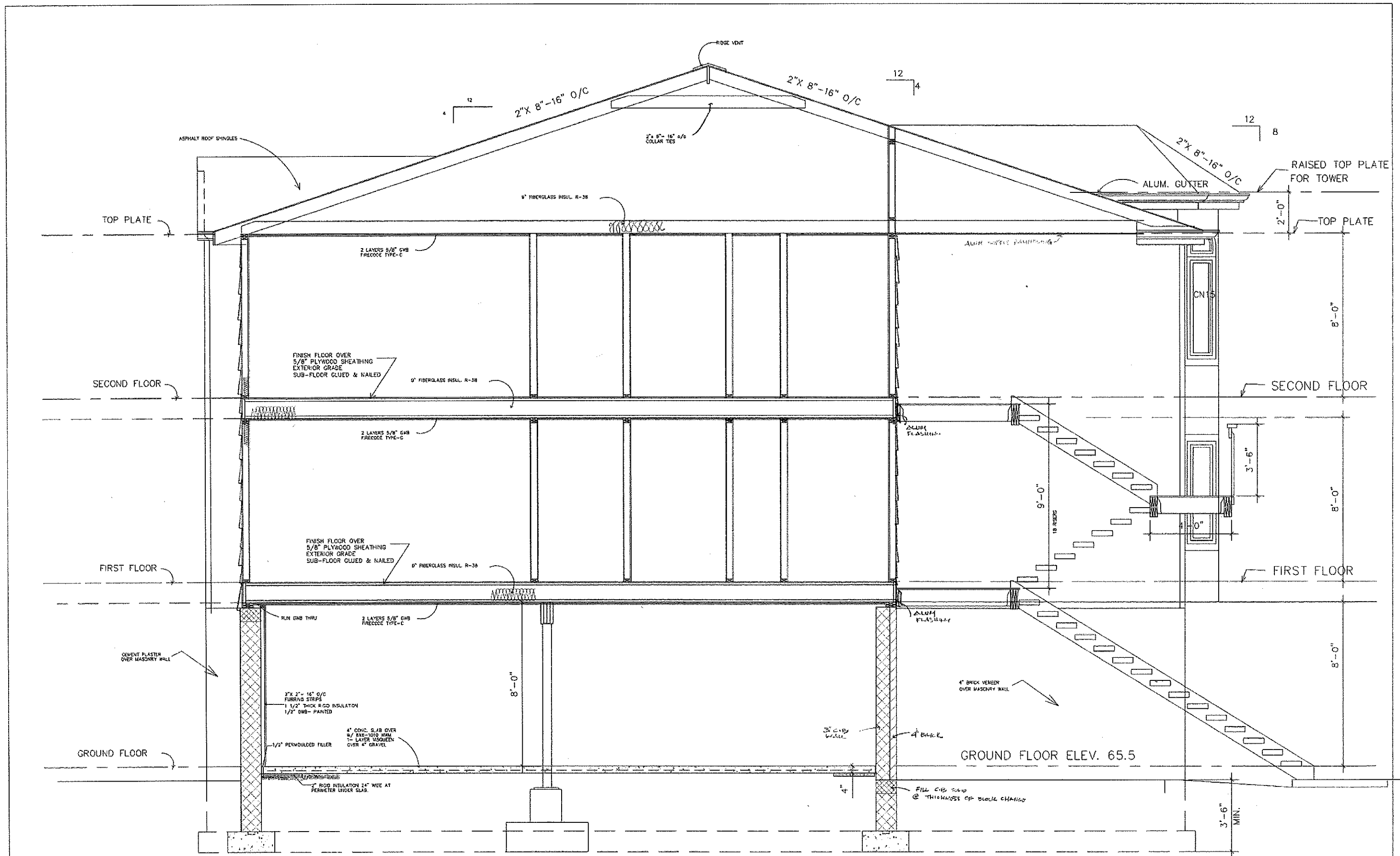
**PROPOSED RESIDENTIAL BUILDING
 SOUTH FRONT STREET- BERGENFIELD, NJ.**

MARIOS LACHANARIS, ARCHITECT LLC.
 1610 CENTER AVENUE - FORT LEE, NJ 07024 TEL. # 201-947-4904
 E-MAIL: lachanarism@yahoo.com FAX. # 201-947-2006

MARIOS LACHANARIS- NJ IA 12588,
 NJ AC-843
 N.Y. 027649
 N.C.A.R.B. 47499

Marios Lachanaris
 SIGNATURE
 11-25-2012
 DATE

JOB NO.
 10241
 SHEET
 A110



GROSS SECTION—"A-A"

SCALE: 1/2" = 1'-0"

FOR INFO NOT SHOWN SEE
TYPICAL WALL SECTION
SHEET

REVISIONS	KEY	DATE	DESCRIPTION

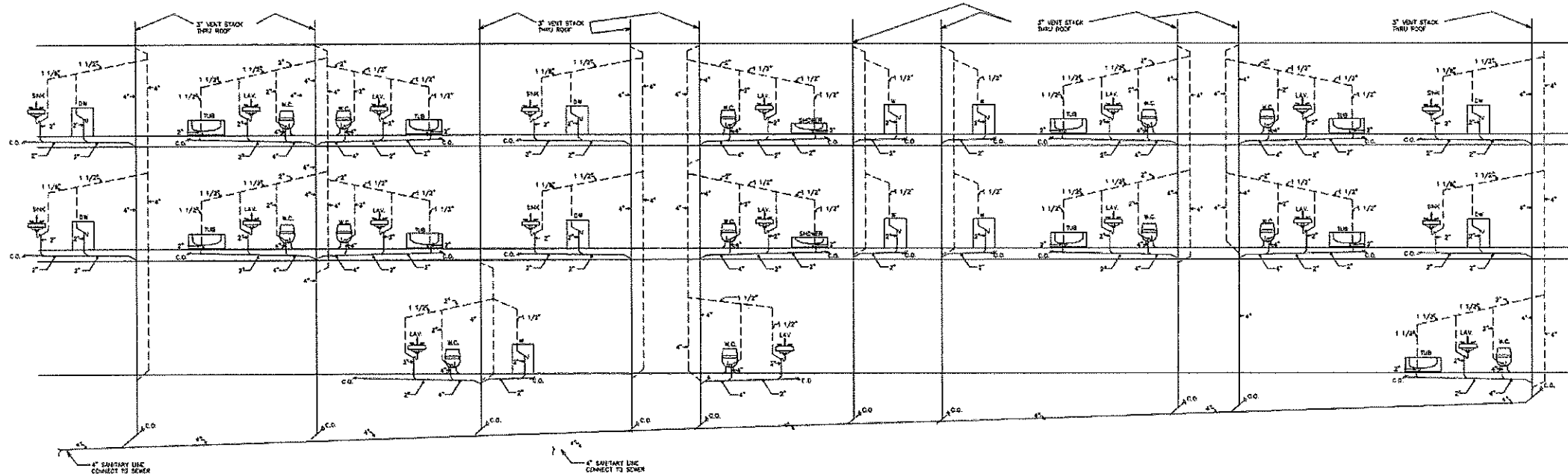
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MARIOS LACHANARIS- NJ IA 12588,
NJ AC-B43
N.Y. 027649
N.C.A.R.B. 47499

Signature
DATE 11-25-2012

JOB NO. 1008
SHEET A-11



PLUMBING RISER DIAGRAM
NOT TO SCALE

BATHROOM- BARRIER FREE NOTES

TOILET TO BE SET 18" MIN. FROM WALL TO CENTER LINE OF CLOSET.
CERAMIC TILE FLOOR TO BE NON-SLIP TYPE.
THRESHOLDS NOT TO EXCEED 1/2" HGT AND HAVE BEVELED EDGE WITH A SLOPE NO GREATER THAN 1:2.

GRAB BARS TO BE 1 1/2" DIAM. ROUND AND PLACED 1 1/2" CLEAR OF WALL.
GRAB BAR AT REAR WALL OF WATER CLOSET TO BE 36" LONG AND SET 6" IN FROM CORNER.
GRAB BAR AT SIDE WALL TO BE 42" LONG AND SET 12" IN FROM CORNER.
GRAB BARS TO BE FASTENED 33" ABOVE FINISH FLOOR AND BEAR 300 LBS/SQ. IN. LOAD (TYP.)
PROVIDE 18" LONG VERTICAL GRAB BAR 39" TO 41" FROM CORNER AND 39"-41" ABOVE THE FLOOR.

UNLESS OTHERWISE NOTED
LAVATORY SHALL BE 34" ABOVE FINISH FLOOR, BOTTOM OF APRON TO BE 29" A.F.F.
LEVER TYPE CONTROLS TO BE LOCATED 20" FROM FRONT EDGE.

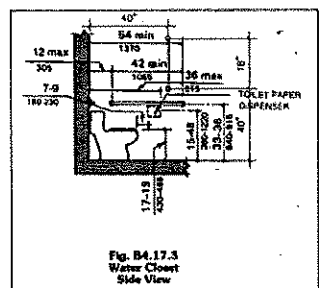


Fig. B4.17.3
Water Closet
Side View

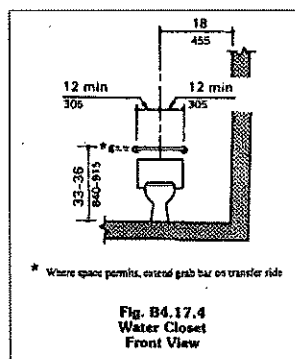


Fig. B4.17.4
Water Closet
Front View

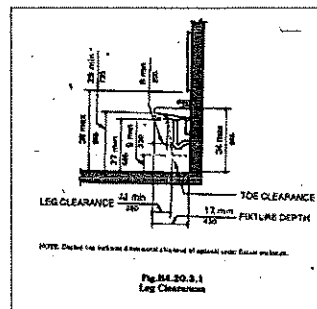


Fig. M4.20.3.1
Leg Clearance

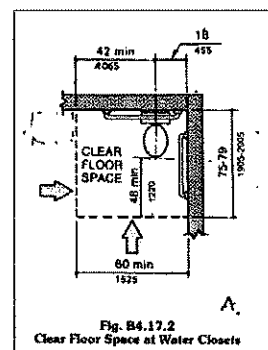
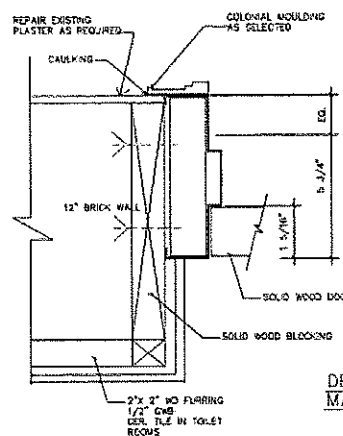
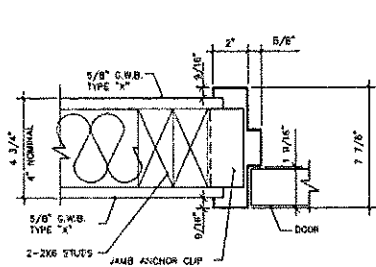


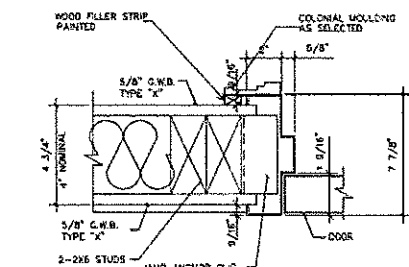
Fig. B4.17.2
Clear Floor Space at Water Closets



DETAIL-A
MASONRY WALL

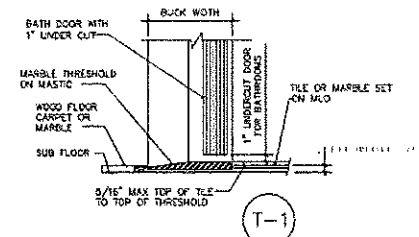


DETAIL-B
6" FRAME WALL



DETAIL-C
4" FRAME WALL

DOOR BUCK DETAILS



THRESHOLD DETAILS

ABBREVIATION INDEX

- U.L. - UNDERWRITERS' LABORATORIES, INC.
- S.T.C. - SOUND TRANSMISSION CLASS
- C.K. - CEDAR KNOLLS ACOUSTICAL LABORATORIES
- F.M. - FACTORY MUTUAL RESEARCH CORPORATION
- R.A.L. - RIVERBANK ACOUSTICAL LABORATORIES
- B.B.N. - BOLT, BERANEK AND NEWMAN, INC.
- D.S.U. - THE OHIO STATE UNIVERSITY
- C.B. - CONCRETE BLOCK
- A.C. TILE - ACOUSTICAL CEILING SYSTEM TILE OR PANEL
- G.W.B. - GYPSUM WALL BOARD
- U.S.G. - UNITED STATES GYPSUM CO.
- C.T. - CERAMIC TILE
- T. - THRESHOLD
- S.C. WOOD - SOLID CORE WOOD
- H.C. WOOD - HOLLOW CORE WOOD
- S.C.F.B. - SELF CLOSING FIRE DOOR
- U.O.N. - UNLESS OTHERWISE NOTED ON PLANS
- N.I.C. - NOT IN CONTRACT
- CONG. - POUR OR PRE-CAST CONCRETE
- N.T.S. - NOT TO SCALE (DO NOT SCALE)
- F.E. - FIRE EXTINGUISHER
- F.O.B. - FACE OF BLOCK OR BRICK
- B.U.R. - BUILT-UP ROOFING
- V.A.T. - VEIL ASBESTOS TILE
- H.V. - HOLLOW METAL
- B. - BUCK OR JAMB

CONDITIONS OF WARRANTY			
No quantity, specified or implied, is made by the architect except as stated in the Plans. In all contracts between the architect and owner of building construction, the intention of quantity may be drawn from the Plans or Specifications unless noted on the contract. It shall be the duty of the architect to specify on plans or specifications, including approval of bills and working of subcontractors, preparation and placement of materials, the correct use of materials, and the placement of materials in accordance with the Plans.			
REVISIONS	KEY	DATE	DESCRIPTION

PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET- BERGENFIELD, NJ.

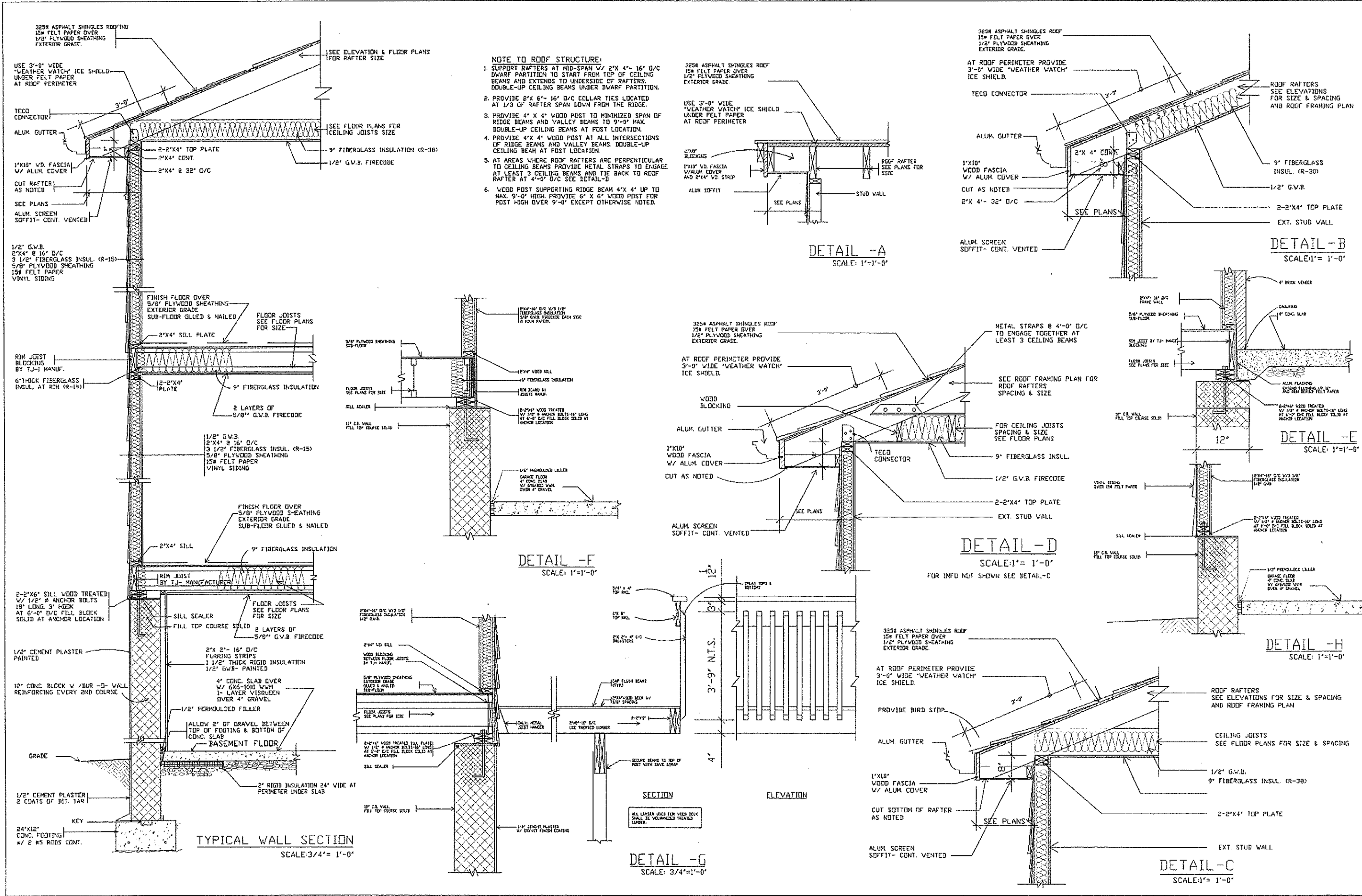
MARIOS LACHANARIS, ARCHITECT LLC.

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NJ AC-843
N.Y. 027649
N.C.A.R.B. 47499

Marios Lachanaris
SIGNATURE
11-25-2012
DATE

JOB NO.
1011
SHEET
A-12



CONDITIONS OF WARRANTY

NO WARRANTIES, EXPRESSED OR IMPLIED, IN EXCESS OF THE ARCHITECT'S OBLIGATION AS SET FORTH IN A SEPARATE AGREEMENT BETWEEN THE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE. THE ARCHITECT'S OBLIGATION IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THE DRAWINGS AND SPECIFICATIONS. THE ARCHITECT SHALL BE EXEMPTED FROM LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM ANY AND ALL CAUSES OF ACTION, INCLUDING NEGLIGENCE, ARISING FROM OR OUT OF THE ARCHITECT'S PROFESSIONAL SERVICES.

REVISIONS	KEY	DATE	DESCRIPTION

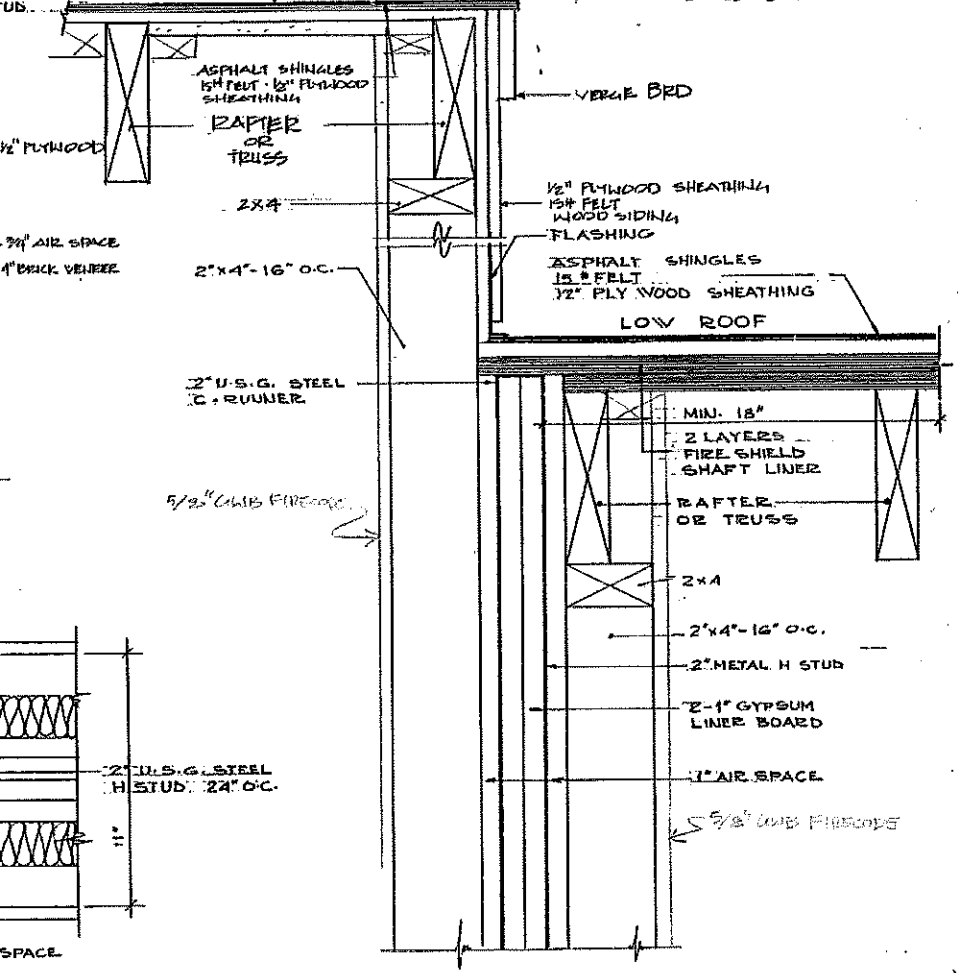
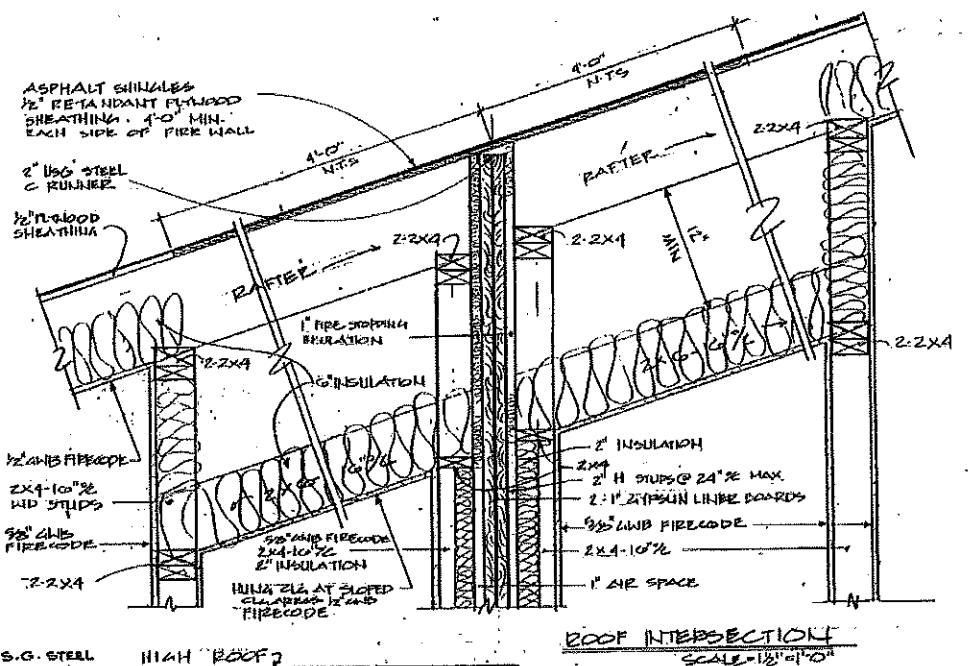
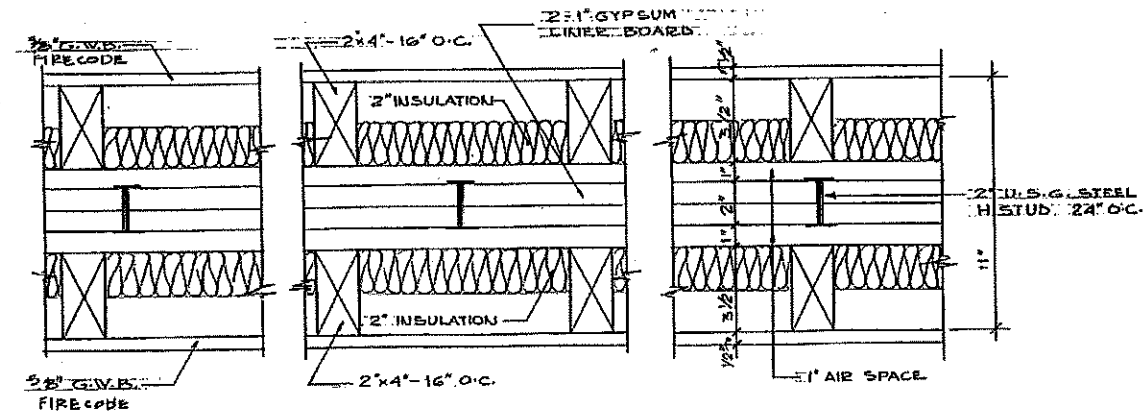
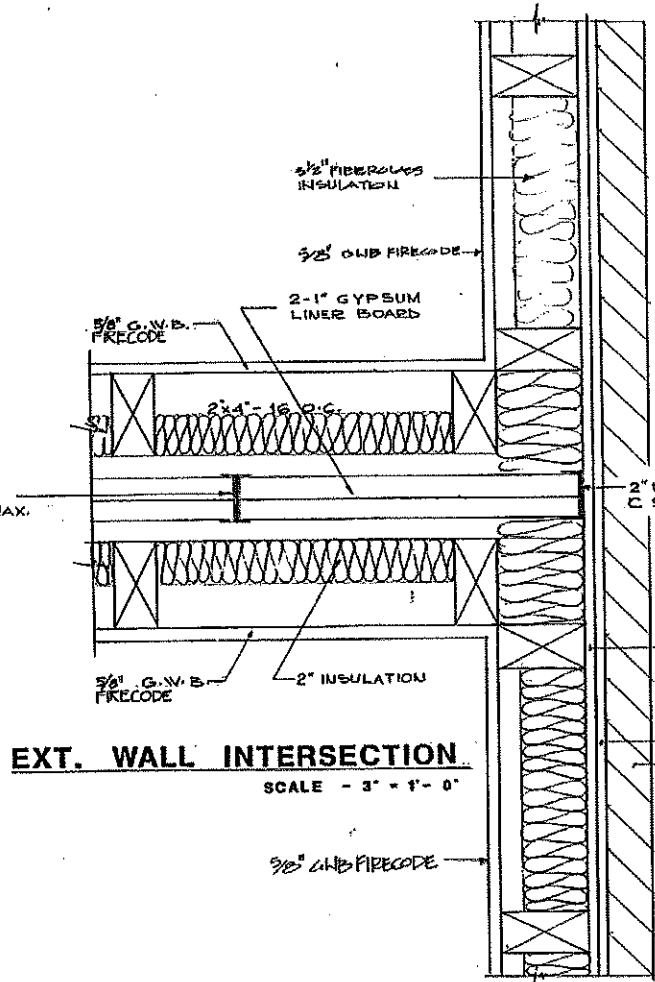
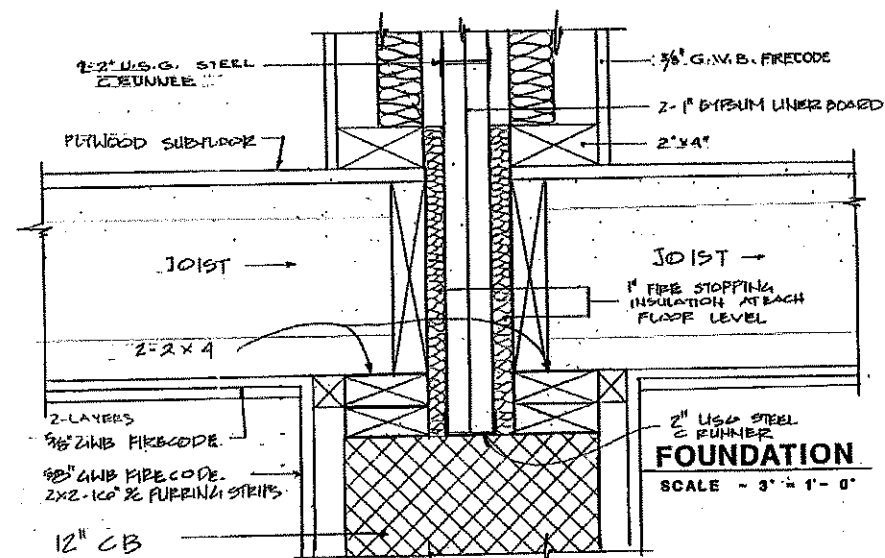
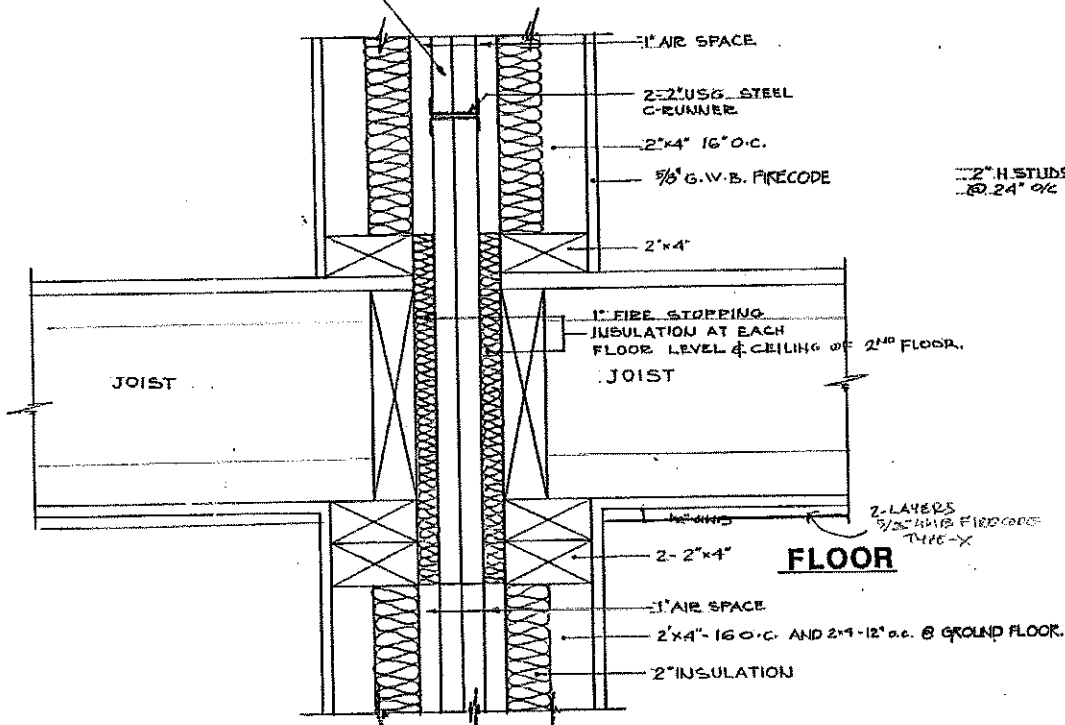
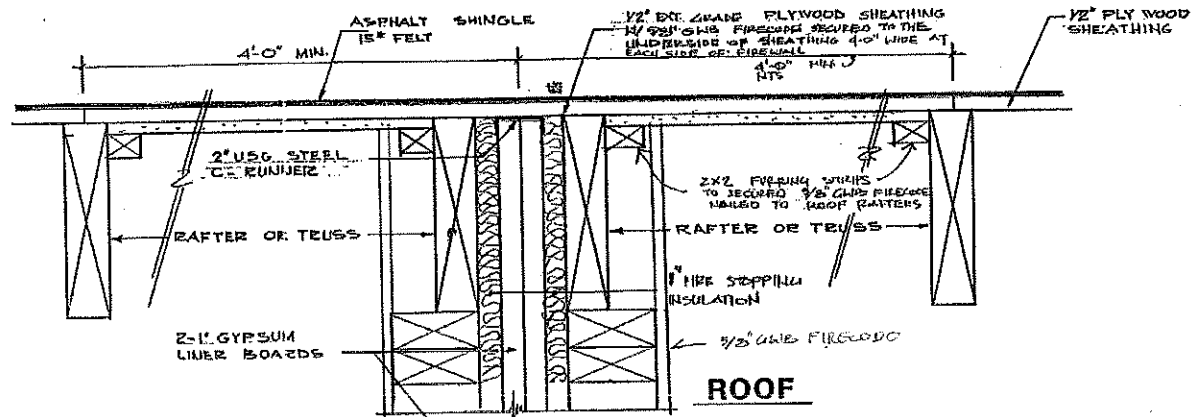
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MARIOS LACHANARIS - NJ IA 12588, NJ AC-843, N.Y. 027849, N.C.A.R.B. 47499

Signature: *Marios Lachanaris*
DATE: 11-25-2012
SHEET: A-18

JOB NO: 1011



PLAN
SCALE - 3" = 1'-0"

HIGH ROOF - LOW ROOF INTERSECTION DWELLING SEPARATION WALL 2 HR. (EST.) RATE
SCALE - 3" = 1'-0"

REVISIONS	KEY	DATE	DESCRIPTION

PROPOSED RESIDENTIAL BUILDING
SOUTH FRONT STREET - BERGENFIELD, NJ.

MARIOS LACHANARIS, ARCHITECT LLC.
1610 CENTER AVENUE - FORT LEE, NJ 07024 TEL. # 201-947-4504
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MARIOS LACHANARIS - NJ 1A 12588,
NJ AC-843
N.Y. 027848
N.C.A.R.B. 47499

SIGNATURE: *Marios Lachanaris*
DATE: 11-25-2017
JOB NO.: 1177
SHEET: A-14

W.H.I. - 495 PSV-0245
STC - 56 U.S.G. - 840325

BUILDING DATA		LIU EDITION
USE GROUP	R-2	1/10/10
CONSTR. CLASS	5-B	
BLDG TYPE	HOUSE	
HGT. OF BLDG	24'	
No. OF STORES	2	
MAX. FL. AREA/FL. ALLOWED		
ACTUAL FL. AREA/FL. ALLOWED		
BUILDING AREA		
BASEMENT	13,050	
FIRST FLOOR	3,086	
SECOND FLOOR	3,086	
TOTAL	9,222	SFR
BUILDING VOLUME		
BASEMENT	26,201	CF
FIRST FLOOR	27,774	CF
SECOND FLOOR	28,085	CF
ROOF	2,636	CF
TOTAL	83,497	CF
COVERAGE		
AREA OF PLOT		
AREA OF BLDG		
% OF LAND COVER		
LOADS		
GRADE OF LUMBER	2	
ROOF		
LIVE LOAD	20	#/SF
DEAD LOAD	10	#/SF
TOTAL	30	#/SF
CEILING		
LIVE LOAD	20	#/SF
DEAD LOAD	10	#/SF
TOTAL	30	#/SF
FLOOR		
LIVE LOAD	40	#/SF
DEAD LOAD	10	#/SF
TOTAL	50	#/SF
PLUMBING		
NO. OF BATHS	2	
NO. OF FIXTURES	11	
TUB	1	
SHOWER	2	
WATER CLOSER	15	
LAVATORY	15	
BIDET	7	
KITCHEN SINK	7	
TOTAL NO. OF FIXTURES	65	
HOT WATER HEATER		
GAS	75	GALES (T)
ELECTRIC		GALES
WATER SUPPLY		
PUBLIC MAIN		
PRIVATE WELL	YES	
SEWAGE DISPOSAL		
PUBLIC SEWER		
SEPTIC TANK	YES	

FIRE RATINGS ELEMENT	REQUIRED	ACTUAL
EXTERIOR WALLS	0	0
VERT. SEPT. TENANT SPACE	1 HR. 1.1 HR.	
DWELL UNIT SEPARATION	1 HR. 2 HR.	
INTERIOR BEARING WALLS	0	0
STRUCTURAL MEMBERS	1 HR.	1 HR.
FLOOR CONSTRUCTION	0	0
ROOF CONSTRUCTION	0	0

HEATING TYPE OF SYSTEM	REQUIRED	ACTUAL
HOT WATER		
FORCED AIR	YES	

RADIATION ZONES DESIGN AND QUARANTEE SYSTEM TO HEAT BUILDING IN COMPLIANCE WITH CODES AND ARTICLE 4 PART.1 SMALL BLDG ENERGY CODE.

ELECTRIC SERVICE	PER UNIT
No. OF OUTLETS	TOTAL 263
No. OF SWITCHES	TOTAL 172
No. OF FIXTURES	TOTAL 288
ELECTRIC RANGE	
H.W. HEATER	
ELECTRIC DRYER	
AIR CONDITION	YES

ELECTRICAL CONNECTIONS	REQUIRED
VACUUM SYSTEM	YES
INTERCOM W/BELL	YES
JACUZZI TUB	NO
GARAGE OPENERS	YES
ROOF EXHAUST FANS	YES
SECURITY SYSTEM	YES

SMOKE DETECTORS
ALL SMOKE DETECTORS SHALL BE WIRED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. ALL SMOKE DETECTORS TO BE PROVIDED WITH BACK-UP BATTERY SYSTEM IN ADDITION TO THE AC PRIMARY POWER SOURCE.

LOCATION	A GROSS AREA	TOTAL A/R	Uo CODE LIMIT	A/Uo LIMIT
WALL			0.23	
NON-CATHEDRAL ROOF/CEILING			0.05	
CATHEDRAL ROOF/CEILING			0.08	
FLOOR			0.08	
GRAND TOTAL		BTA/Roof	TOTAL	

ALL WORK IN ACCORDANCE WITH NATIONAL PLUMBING CODE ALL SANITARY PIPING TO BE P.V.C. ALL WATER PIPING TO BE COPPER COMPLY WITH ART. 5 PART 1 SMALL DWELLING ENERGY SUBCODE MANUAL.

GENERAL SPECIFICATIONS

- ROOFING: ASPHALT SHINGLES SHALL HAVE 2/32" WITH A 30 YEAR WARRANTY, EXCEPT AS NOTED OR AS SELECTED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ROOFING: ALL LEAKS SHALL BE REPAIRED WITHIN 24 HOURS OF DISCOVERY. EXCEPT AS NOTED OR AS SELECTED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ROOFING: ALL ROOFING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
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SPECIFICATIONS

SIIC CODE

- THIS WORK SHALL INCLUDE CLEANING, GRADING, EXCAVATION, REMOVAL OF OBSTRUCTIONS, POLE LINE, FILL, COMPACT AND GRADING.
- EXCAVATION: MATERIAL TO BE EXCAVATED IS ASSUMED TO BE EARTH OR OTHER MATERIALS THAT CAN BE REMOVED BY CONVENTIONAL MEANS. EXCAVATION SHALL BE DONE WITHIN THE USE OF EXCELLENCE. EXCEPT AS NOTED OR AS SELECTED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- CONCRETE: ALL CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
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BLOCKS

- UNLESS NOTED OTHERWISE BLOCKS SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- CONCRETE: ALL CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
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STEEL

- STEEL SHALL CONFORM TO THE LATEST A.S.T.M. SPECIFICATIONS AND AS PER AS.
- STEEL SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
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WOODWORK

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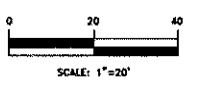
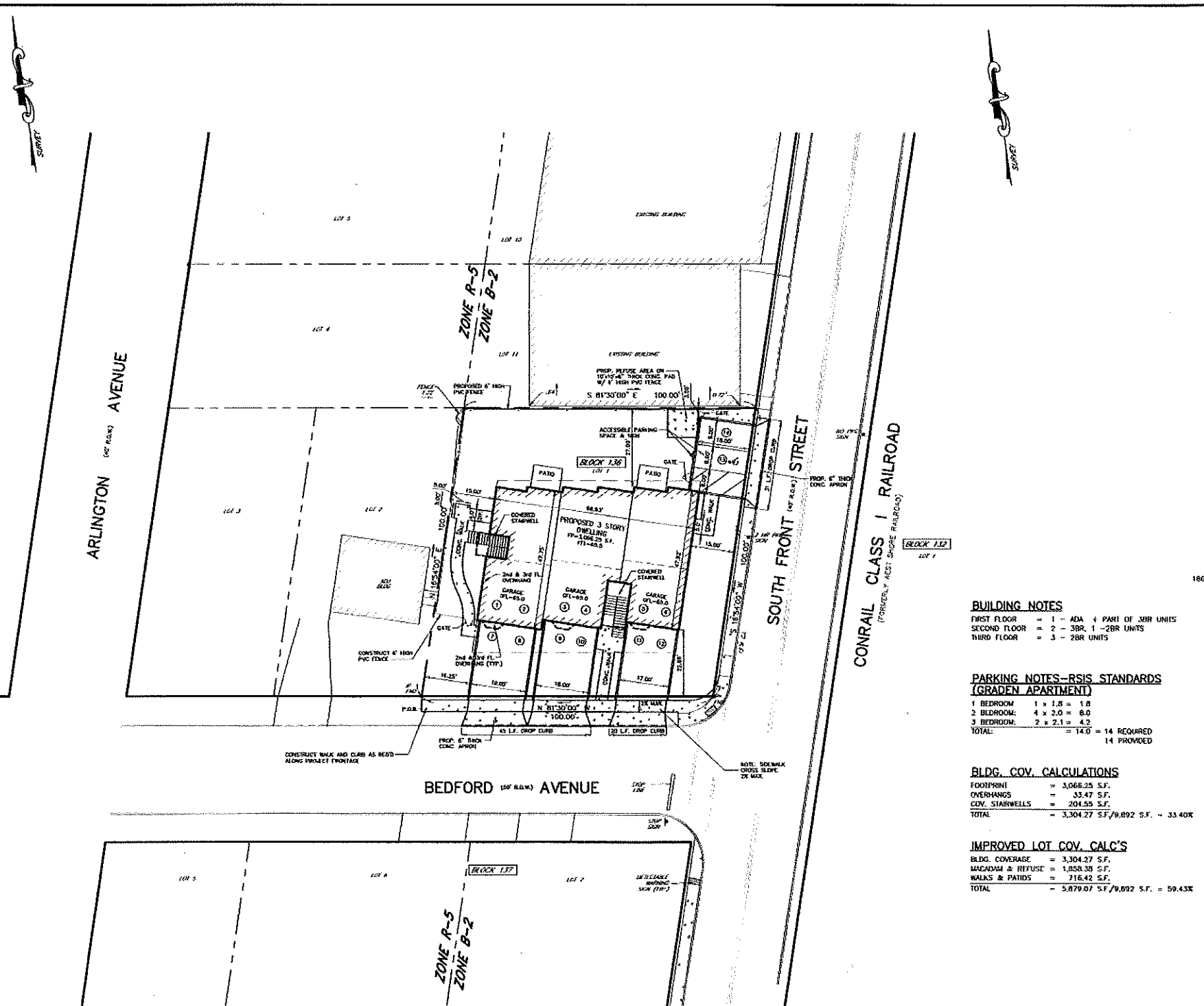
MARIOS LACHANARIS, ARCHITECT LLC
1610 CENTER AVENUE - FORT LEE, NJ 07024
TEL. # 201-947-9004
E-MAIL: lachanarism@shaw.com FAX. # 201-947-2006

MARIOS LACHANARIS - NJ 1A 12588
NJ AC-B-4
N.Y. 02749
N.C.A.R.B. 47499

JOB NO. 144
SHEET 1-16
SIGNATURE: Marios Lachanaris
DATE: 11/23/2011



AERIAL MAP
SCALE: 1"=20'



I CONSENT TO THE FILING OF THIS SITE PLAN.

BERGEN REGENCY, LLC
OWNER
DATE
APPLICANT
DATE

SITE PLAN OF PROPOSED RESIDENTIAL BUILDING
LOT 1 BLOCK 136 ZONE R-5
DATE 7-17-20 SCALE 1"=20'
APPLICANT BERGEN REGENCY LLC
ADDRESS 24 E. MAIN ST. #5375
CLIFTON, N.J. 08809

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

MJM
18 29497
TITLE AND LICENSE NUMBER

APPROVED BY THE BOARD OF THE BOROUGH OF BERGENFIELD

By: CHAIRMAN DATE
SECRETARY DATE

I HAVE REVIEWED THIS SITE PLAN AND CERTIFY THAT IT MEETS ALL ORDINANCES AND REGULATIONS UNDER MY JURISDICTION.

BERGEN ENGINEER DATE
CONSTRUCTION OFFICIAL DATE

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTEE HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN ORDINANCE.

CONSTRUCTION OFFICIAL
BOROUGH ENGINEER

I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

BOROUGH ENGINEER DATE
CONSTRUCTION OFFICIAL DATE

OCCUPANCY PERMIT ISSUED DATE

IT IS HEREBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT

TAX COLLECTION DATE

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION

BOROUGH ENGINEER DATE

DRAWING SCHEDULE

- 2136-15 SITE PLAN
- 2136-16 GRADING AND DRAINAGE PLAN; LIGHT & LANDSCAPING PLAN & DETAILS
- 2136-17 SOIL EROSION AND SEDIMENT CONTROL PLAN; DETAILS
- 2136-18 EXISTING CONDITIONS PLAN

BUILDING NOTES

- FIRST FLOOR = 1 - ADA + PART OF 3BR UNITS
- SECOND FLOOR = 2 - 3BR, 1 - 2BR UNITS
- THIRD FLOOR = 3 - 2BR UNITS

PARKING NOTES-RSIS STANDARDS (GRADEN APARTMENT)

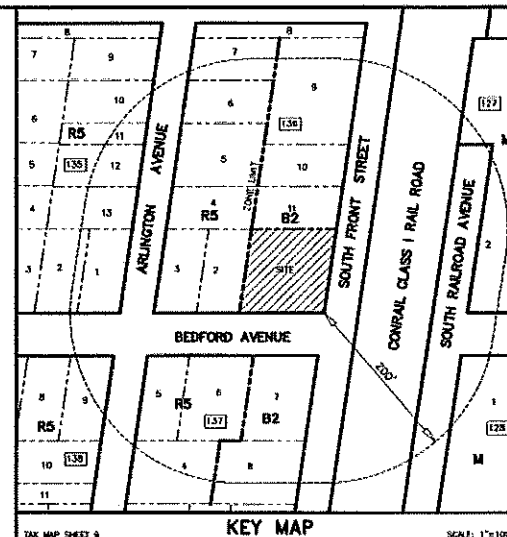
- 1 BEDROOM 1 x 1.8 = 1.8
- 2 BEDROOM 4 x 2.0 = 8.0
- 3 BEDROOM 2 x 2.1 = 4.2
- TOTAL = 14.0 = 14 REQUIRED
14 PROVIDED

BLDG. COV. CALCULATIONS

- FOOTPRINT = 3,066.25 S.F.
- OVERHANGS = 33.47 S.F.
- COV. STAIRWELLS = 204.55 S.F.
- TOTAL = 3,304.27 S.F./9,892 S.F. = 33.40%

IMPROVED LOT COV. CALC'S

- BLDG. COVERAGE = 3,304.27 S.F.
- LANDSCAPE & REFUSE = 1,858.28 S.F.
- WALKS & PATIOS = 716.42 S.F.
- TOTAL = 5,879.07 S.F./9,892 S.F. = 59.43%



KEY MAP
SCALE: 1"=100'

ZONING NOTES

B2 BUSINESS; PROPOSED USE: RESIDENTIAL (2)

	REQUIRED	PROVIDED
MIN. LOT AREA	10,000 S.F.	9,892 S.F. (1)
MIN. LOT WIDTH	100 FT.	100.00 FT.
MAX. BLDG. HEIGHT	40 FT.	35.00 FT.
MAX. BLDG. HEIGHT	3 STORES	3 STORES
MIN. FRONT YARD		
BEDFORD AVENUE	15 FT.	22.86 FT.
SOUTH FRONT STREET	15 FT.	15.00 FT.
MIN. SIDE YARD	15 FT.	15.00 FT.
MIN. TOTAL SIDE YARD	30 FT.	N/A
MIN. REAR YARD	25 FT.	27.00 FT.
MAX. BLDG. COVERAGE	35%	33.40%
MAX. IMPROVED LOT COV.	65%	59.43%
MIN. PARKING STALLS	14	14
MAX. WIDTH OF DRIVE	19 FT.	19.00 FT.
MAX. WIDTH OF DRIVE (40% FRONTAGE)	40 FT.	54.00 FT. *
MIN. SIDE YARD SETBACK OF DRIVE	2 FT.	3.50 FT.
186'-4" MIN. BUFFER STRIP (5% OF LOT WIDTH)	5 FT.	3.50 FT. *

- (1) EXISTING NON-CONFORMING CONDITION.
- (2) USE VARIANCE APPROVED BY ZONING BOARD OF ADJUSTMENT ON OCTOBER 2, 2012
- * VARIANCE REQUIRED

GENERAL NOTES

- 1) TOTAL LOT AREA = 9,892 S.F. = 0.22 ACRES.
- 2) ELEVATION BASED ON MVD 1929.
- 3) LOCATION OF UTILITIES BASED ON FIELD MARKOUT BY UTILITY COMPANIES.
- 4) CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 5) ALL DAMAGED CURB AND SIDEWALKS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
- 6) STREET TO BE CLEANED EVERYDAY IF NECESSARY.
- 7) X DENOTES TREES TO BE REMOVED.
- 8) INSTALL CLEANOUTS AT ALL BENDS BY ROOF DRAINS.
- 9) TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION, NO SOIL MOVEMENT AND/OR STOCKPIPING OF MATERIAL AND NO OPERATION OF CONSTRUCTION VEHICLES IS PERMITTED WITHIN TEN FEET OF SAID TREES.
- 10) THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MAXIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- 11) THE OWNER OR THEIR REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS PURSUANT TO N.J.A.C. 5:23-2.21(e) OF THE N.J. UNIFORM CONSTRUCTION CODE AND CFR 1926.32(i) (OSHA COMPETENT PERSON).

REFERENCES

- 1) A CERTAIN MAP ENTITLED "MAP OF BERGENFIELD PARK, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP NO. 835 BEING LOTS 150-153 ON SAID MAP.
- 2) SURVEY OF PREMISES BY H. SPEARS DATED 1-6-49
- 3) BOROUGH OF BERGENFIELD TAX MAPS.

NO.	REVISIONS	DATE	BY	CHKD

SITE PLAN

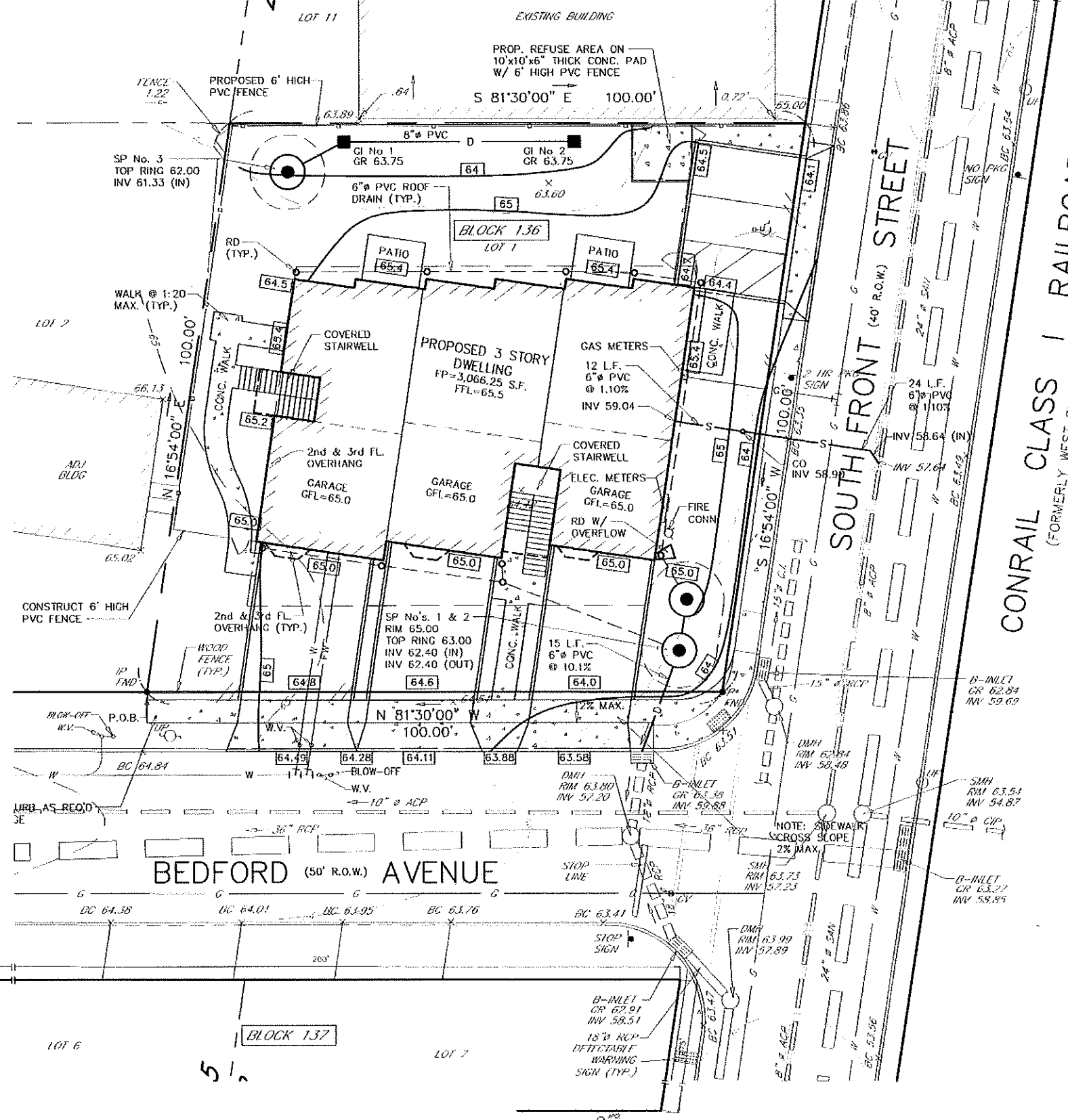
LOT 1
PROPOSED RESIDENTIAL BUILDING BLOCK 136
51-59 BEDFORD AVENUE
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY
APPLICANT/OWNER BERGEN REGENCY LLC
24 E. MAIN ST. #5375
CLIFTON, N.J. 08809

ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J.L.C. NO. 37208
7-17-20

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200
7-17-20

DRAWN BY: N.M.
CHKD BY: MJM
SCALE: 1"=20'
DRAWING NO. 2136-15
REV. 1 OF 4

HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07821
201-364-5468



GRADING & DRAINAGE PLAN

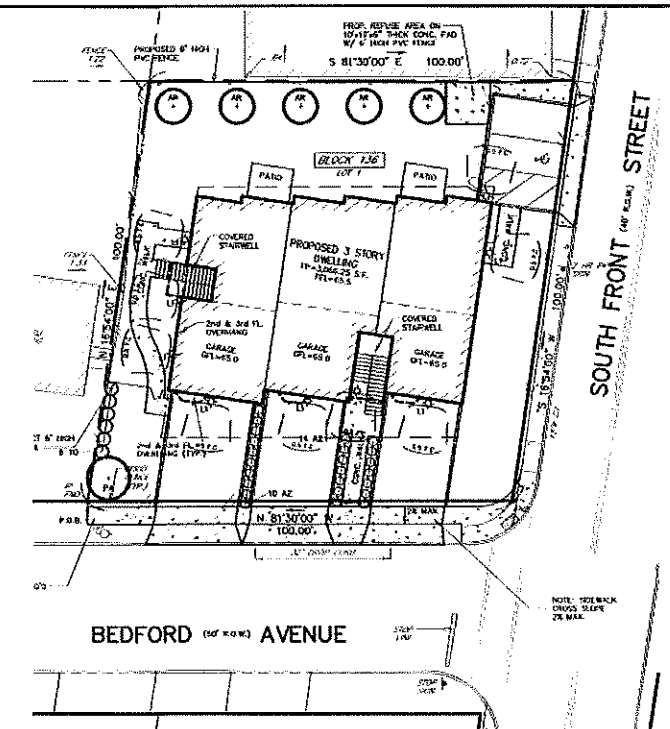
DELFORD AVENUE



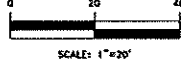
SCALE: 1"=10'

GENERAL NOTES

- 1) ROOF DRAIN PIPING TO BE 6" PVC SDR 35 AT 1.10% MIN. SLOPE.
- 2) RCP STORM DRAINS TO BE CLASS IV.
- 3) ALL ELECTRIC POWER AND TELEPHONE LINES TO BE INSTALLED UNDERGROUND.

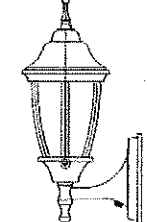


LIGHTING & LANDSCAPING PLAN

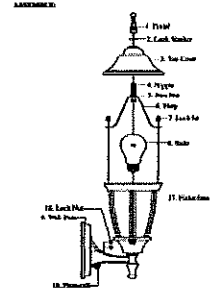


SCALE: 1"=20'

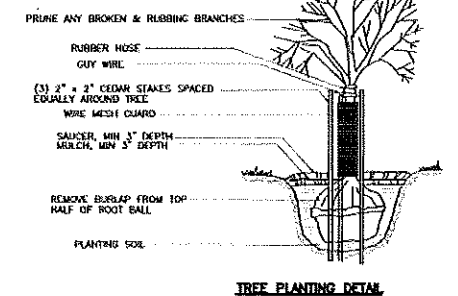
INSTRUCTION MANUAL
 1. If used for Wall Mounting use Plaster
 Minimum Height: 48-50" (5'-0" to 4'-2") (Mount to Wall)
 Minimum Height: 54-56" (4'-6" to 4'-8") (Mount to Wall)
 Minimum Height: 60-62" (5'-0" to 5'-2") (Mount to Wall)



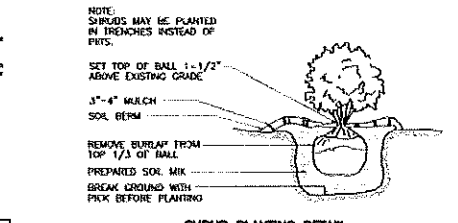
WALL MOUNTED LIGHT FIXTURE DETAIL



STREET LIGHT DETAIL



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

PLANT SCHEDULE				
TREES				
KEY	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS	QTY.
T1	PICEA ABIES	COMMON SPRUCE	8'-10" CAL. 10'-12" H. 10'-12" W. 10'-12" D.	1
SHRUBS/GROUNDCOVER				
T2	DRYMONIA	DRYMONIA	15" x 15" x 15" CAL. CAN	24
T3	HELIOPSIS SCOPULORUBRA	HELIOPSIS SCOPULORUBRA	3'-6" H. 18" W. 18" D.	6

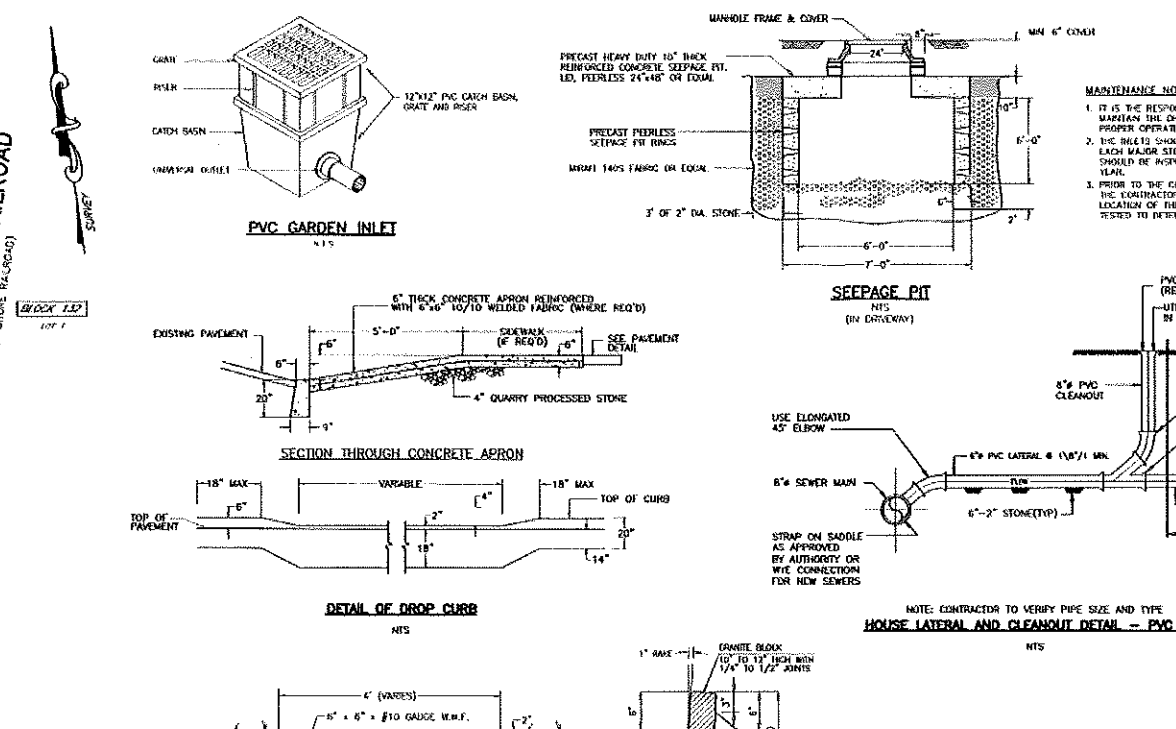
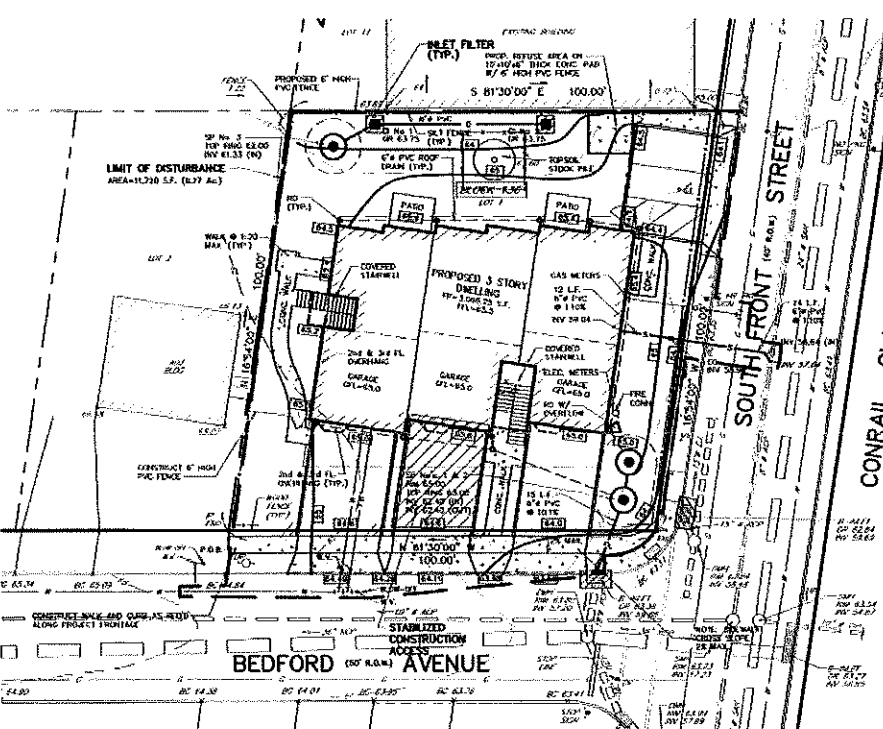
NO.	REVISIONS	DATE	BY	CHKD.
GRADING & DRAINAGE PLAN; LIGHT & LANDSCAPING PLAN & DETAILS				
LOT 1 BLOCK 136				
PROPOSED RESIDENTIAL BUILDING 51-59 BEDFORD AVENUE				
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY				
APPLICANT, OWNER BERGEN REGENCY LLC 24 E. MAIN ST. #5375 CLIFTON, N.J. 08809				
DRAWN BY: N.M.		CHECKED BY: M.H.		
SCALE: AS SHOWN		DRAWING NO. 2136-16		
MICHAEL J. HUBSCHMAN P.E., P.P. PROFESSIONAL ENGINEER AND PLANNER N.J.P.E. NO. 29497		7-17-20		
MICHAEL J. HUBSCHMAN P.E., P.P. PROFESSIONAL ENGINEER AND PLANNER N.J.P.E. NO. 29497		201-351-5464		
ENGINEERS - PLANNERS - SURVEYORS 263A S. WASHINGTON AVE. BERGENFIELD, NJ 07621		2 OF 4		

**BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

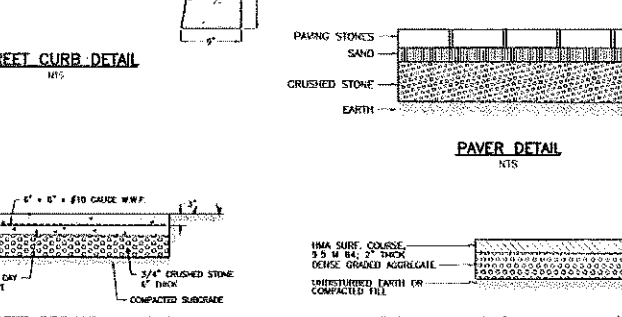
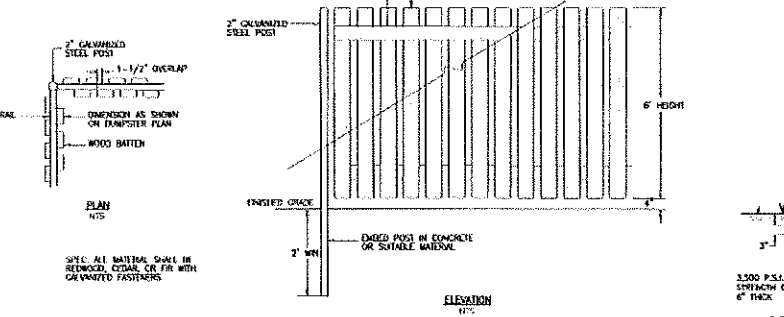
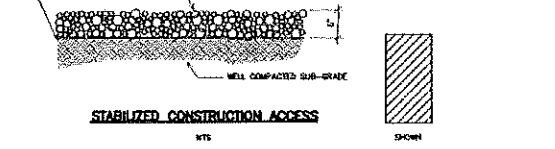
1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL AS SET FORTH IN THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON IMMEDIATELY FOLLOWING SEEDING, THE DISTURBED AREA WILL BE RESEEDING WITH SEED MIXTURE OR EQUIVALENT AND SOIL MULCHING SHALL BE APPLIED TO THE SEED MIXTURE, MULCH NETTING, OR LIQUID MULCH MULCHES.
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROAD GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN CONFORMANCE WITH SEED MIXTURE OF A SUITABLE EQUIVALENT AT A RATE OF 2 LBS PER ACRE, ACCORDING TO THE NJ STANDARDS.
4. TEMPORARY SEEDING SPECIFICATIONS:
 - A. TEMPORARY SEEDING AND MULCHING:
 - LIME - 40 LBS/1,000 SQ FT OF GROUND LIMESTONE FERTILIZER - 11 LBS/1,000 SQ FT, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL TO A DEPTH OF 4".
 - SEED - PERENNIAL BERMUDGRASS 40 LBS/Acre (1 LB/1,000 SQ FT) OR OTHER APPROVED SEEDS, PLANT BETWEEN MARCH 1 AND MAY 15 ON INTERMEDIATE 18 AND OCTOBER 1.
 - MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 30 TO 50 LBS/1,000 SQ FT TO BE APPLIED ACCORDING TO THE NJ STANDARDS. MULCH SHALL BE SECURED BY APPROVED MEANS (I.E. PFC AND TRUNK, MULCH NETTING, OR LIQUID MULCH MULCHES).
5. THE SITE SHALL AT ALL TIMES BE GRAZED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIRECTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
7. STORMWATER SHALL NOT BE COLLECTED WITHIN OF A FLUOROPOLYMER SLURRY ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STORMWATER SHALL BE CONFINED BY A DURABLE SEDIMENT BARRIER OR SILT FENCE.
8. A DURABLE STONE, VEHICLE WHEEL-CLEANING BARRIERS WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD IMPACTS ANY PAVED ROADWAY. SAID BARRIER WILL BE COMPOSED OF 1" - 2 1/2" CLEANED STONE, 6" THICK, WILL BE AT LEAST 20' X 8" TOP AND SHALL BE UNDERGOWN WITH A DRAINAGE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
9. BARRIERS SHALL BE STABILIZED WITH 1" - 2 1/2" CRUSHED STONE OR SEPARATE STONE GRANULES APPROVED BY THE DISTRICT.
10. ALL SOIL MARKED, SHOULDER, SPALLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE ON LIMITED PUBLIC HIGHWAYWAYS, WILL BE REPAIRED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
11. CATCH BASIN MEETS WILL BE PROTECTED WITH AN ALIET FILTER DESIGNED IN ACCORDANCE WITH SECTION 10-3 OF THE NJ STANDARDS.
12. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE EXCHANGE POINTS BECOME OPERATIONAL.
13. EXISTING OR PROPOSED DRAINAGE FACILITIES SHALL BE MAINTAINED AND KEPT CLEAN AT ALL TIMES.
14. ALL DRAINAGE FACILITIES MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BASIN OR OTHER APPROVED FACILITY IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 15-1 OF THE NJ STANDARDS.
16. SITES TO REMAIN AT THE CONSTRUCTION SITE TO BE PROTECTED BY A SEDIMENT BARRIER INSTALLED AS THE EXISTING OR BEYOND IN ACCORDANCE WITH SECTION 5-1 OF THE NJ STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BEYOND THE BARRIERS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
18. ANY EROSION TO THE EXISTING SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTICED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE. BERGEN COUNTY SOIL CONSERVATION DISTRICT, 200 WASHINGTON ST., SUITE 100, CLIFTON, NJ 07011. TEL: 201-261-5571, FAX: 201-261-7973.
21. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON-OR-OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
22. THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE SIGNATURE OF ANY CONTRACTOR, OF PERFORMANCE. THE DISTRICT IS REQUIRED AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE PERFORMANCE OF ALL REPORT OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE SIGNATURE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

SEQUENCE OF CONSTRUCTION

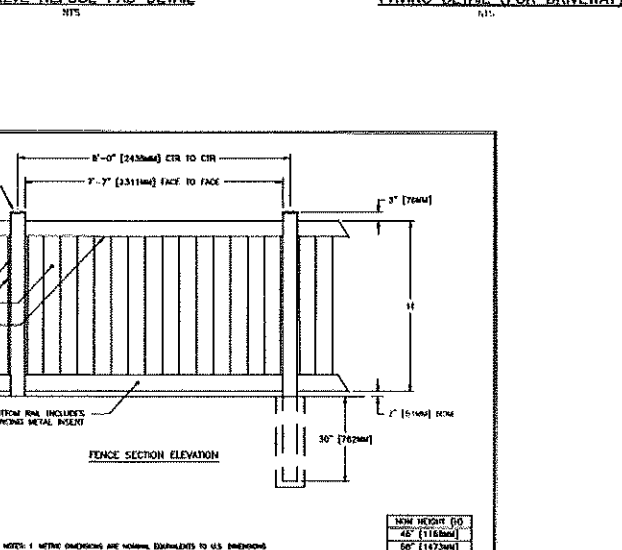
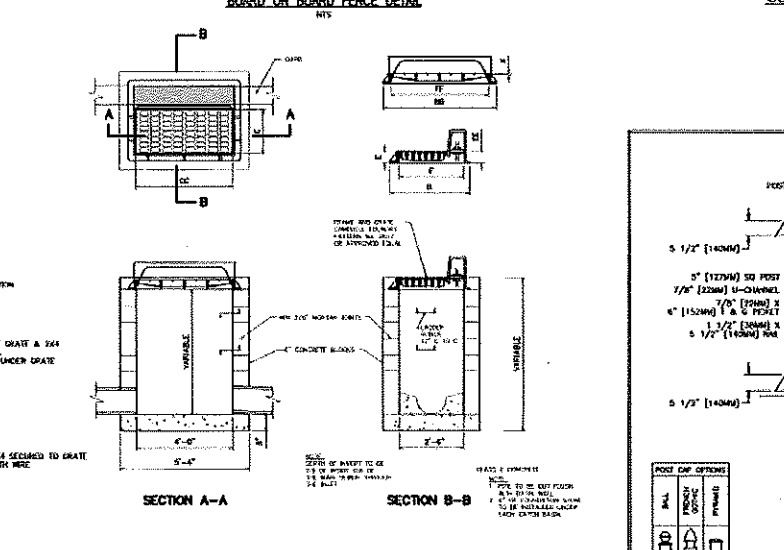
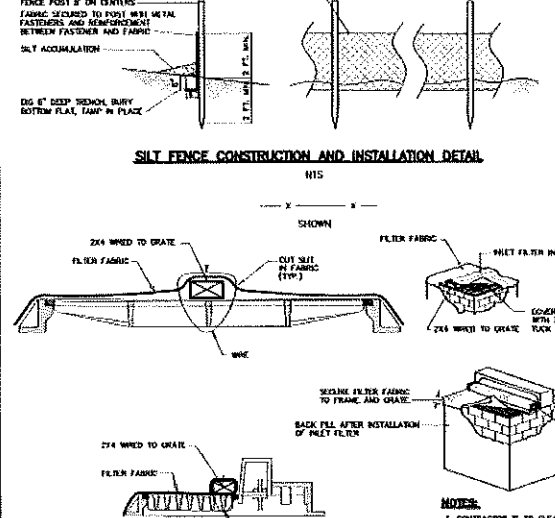
1. INSTALL 2"X2" X 2" UNCLAMMED STEEL POSTS AT CONSTRUCTION ENHANCEMENT.
2. INSTALL SILT FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION ACCORDING TO PLAN.
3. PROVIDE ROUGH GRADING FOR SITES.
4. EXCAVATE FOR NEW BUILDING, DRIVE, AND UTILITY.
5. CONSTRUCT NEW BUILDING, DRIVE, PAVEMENT BASE, COURSE ON DRIVE.
6. PROVIDE FINAL GRADING, TYPICAL REPLACEMENT, AND LANDSCAPING.
7. PROVIDE FINAL PAVING.
8. REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL SERVICE.



STABILIZED CONSTRUCTION ACCESS



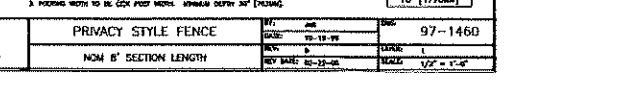
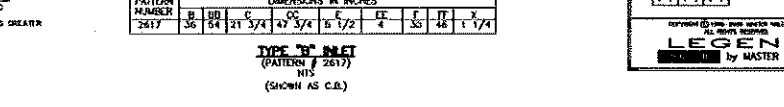
SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL



CURB RAMP TYPE 3

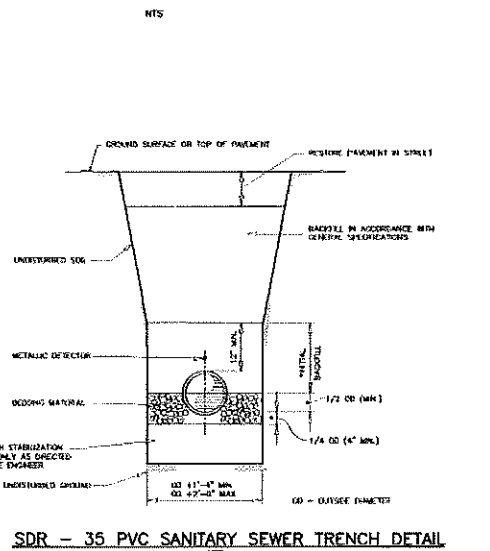
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4.0	4.3	4.3	4.3	4.3	4.3	4.3

STORM SEWER INLET PROTECTION

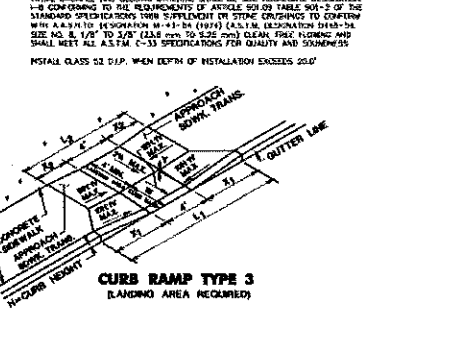


- MAINTENANCE NOTES FOR STORMWATER SYSTEM**
1. IT IS THE RESPONSIBILITY OF THE HOMEOWNER TO MAINTAIN THE STORMWATER SYSTEM TO INSURE ITS PROPER OPERATION.
 2. THE INLET SHOULD BE CLEANED REGULARLY AFTER EACH MAJOR STORM EVENT. THE SEEPAGE PIT SHOULD BE INSPECTED AT A MINIMUM OF ONCE PER YEAR.
 3. PRIOR TO THE CONSTRUCTION OF THE SEEPAGE PIT, THE CONTRACTOR IS TO CONTACT A 1501 PSI IN THE LOCATION OF THE SEEPAGE PIT, AND A SOIL SAMPLE IS NEEDED TO DETERMINE THE PERMEABILITY OF THE SOIL.

HOUSE LATERAL AND CLEANOUT DETAIL - PVC PIPE



SDR - 35 PVC SANITARY SEWER TRENCH DETAIL



REVISIONS

NO.	REVISIONS	DATE	BY	CHECK

SOIL EROSION & SEDIMENT CONTROL PLAN: DETAILS

LOT 1 PROPOSED RESIDENTIAL BUILDING BLOCK 136
51-59 BEDFORD AVENUE

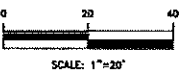
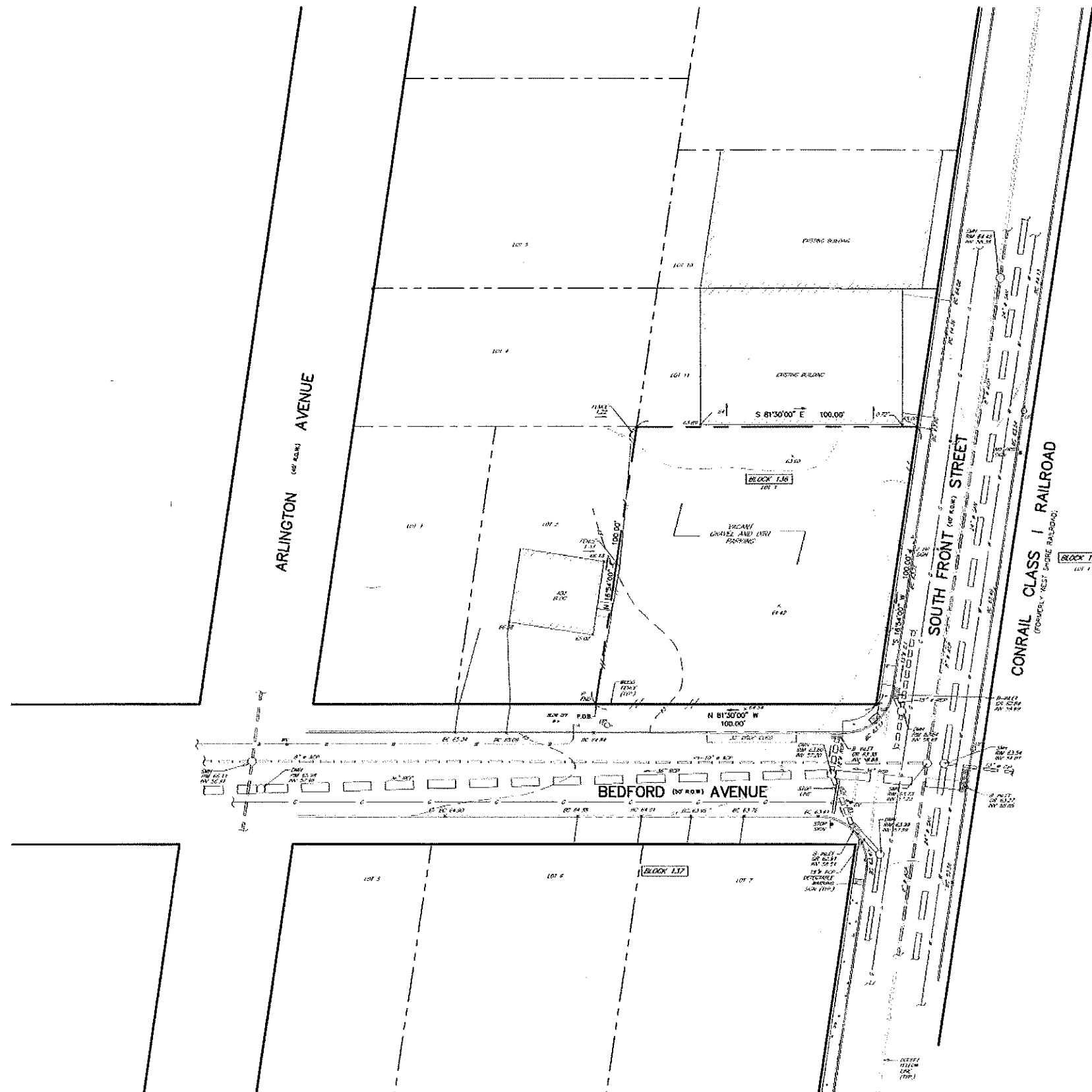
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY

APPLICANT/OWNER BERGEN REGENCY LLC
24 E. MAIN ST. #5375
CLIFTON, N.J. 07011

ENGINEER - PLANNERS - SURVEYORS
MICHAEL J. HUBSCHMAN P.E., P.P.
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
201-322-3489

DRAWN BY: N.M.
CHECK BY: N.M.
SCALE: AS SHOWN
DRAWING NO. 2136-17
REV. 3 of 4

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 28497 N.J.P.P. NO. 3200
7-17-20



REFERENCES

- 1) A CERTAIN MAP ENTITLED "MAP OF BERGENFIELD PARK, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP No. 835 BEING LOTS 150-153 ON SAID MAP
- 2) SURVEY OF PREMISES BY H. SPEARS DATED 1-6-49
- 3) BOROUGH OF BERGENFIELD TAX MAPS.

NO.	REVISIONS	DATE	BY	CHKD
EXISTING CONDITIONS				
LOT 1 BLOCK 136				
PROPOSED RESIDENTIAL BUILDING				
51-59 BEDFORD AVENUE				
BOROUGH OF BERGENFIELD BERGEN COUNTY NEW JERSEY				
APPLICANT/OWNER: BERGEN REGENCY LLC 74 E. MAIN ST. #5375 CLIFTON, N.J. 08802				
DRAWN BY: N.M.		CHKD BY: MJH		
SCALE: 1"=20'		DRAWING NO. 2136-18		
ENGINEERS - PLANNERS - SURVEYORS 2634 S. WASHINGTON AVE., BERGENFIELD, NJ 07821 201-384-3666		REV. 4 OF 4		

ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J. LIC No. 37206
7-17-20

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200
7-17-20