

BOROUGH OF BERGENFIELD

BOARD OF ADJUSTMENT

APPLICATION AND INSTRUCTIONS TO APPLICANTS

Instructions include: page 1-3

Application include: page 1-9

RECEIVED BY _____ Date _____

PROPERTY ADDRESS 83 Hickory Avenue

BLOCK 28 LOT 38

DATE APPLICATION RECEIVED _____

ESCROW FEES _____ Collected by _____
Date _____

APPLICATION FEES _____ Collected by _____
Date _____

FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME C.R. Restoration, LLC
ADDRESS 153 Merritt Avenue, Bergenfield, NJ 07621
OWNER'S NAME Dr. Investors, LLC
OWNER'S ADDRESS 153 Merritt Avenue PHONE # (H) 201-681-3352
46-1810966 FED I.D.# or S S (B) 201-658-4320

Applicant will be represented at public hearing by Bruce R. Rosenberg, Esq.

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal ~~from the requirements of Section (s)~~ and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at NUMBER: 83 Hickory Avenue.

DESIGNATED AS Block(s) 28 and Lot(s) 38
on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R5

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____
LOT COVERAGE _____ FRONT YARD _____ REAR YARD _____ SIDE YARD _____
TOTAL SIDE YARD _____ OTHER (specify) Improved lot coverage, maximum driveway width, maximum curb cut, building height (stories) *

THE REASON FOR DESIRED VARIANCE/APPEAL
Applicant is requesting a use variance and the above referenced bulk variances to permit a proposed six (6) unit townhouse project.

* proposed accessory water meter enclosure in a side yard setback / located in front of principal building.

DESCRIPTION OF PROPERTY

- 1. SIZE OF LOT 142.16 x 225 2. SQUARE FEET IN LOT 21,986
- 3. SIZE OF PRESENT BUILDINGS 22.5 x 46.1 4. STORIES 2 1/2 (House)
21.8 x 34.4 (Irregular) 1 (Garage/Shed)
- 5. TOTAL AREA 1,787.17 SQ. FT. 6. NUMBER OF ROOMS 7
- 7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 8.1 %
- 8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Vacant
- 9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES _____
 NO X (If yes, provide a copy of same)
- 10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY _____
Church and residential uses.
- 11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
 PREMISES? YES _____ NO X IF SO, DATE FILED _____
 DISPOSITION _____
- 12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
 ORDINANCE? YES _____ NO X (IF SO, EXPLAIN) _____
- 13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
 YES _____ NO X
- 14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
 YES _____ NO X
- 15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
 MUNICIPALITY? YES _____ NO X

DESCRIPTION OF PROPOSED CHANGES

16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES X NO _____

17. SIZE OF NEW ADDITION _____ x _____ SQ. FT.

_____ AREA _____ HEIGHT

18. SIZE OF NEW BUILDINGS 18.2 x 42 SQ. FT. (Each Townhouse)

764.40 AREA 30/3 HEIGHT 32.5 ft. to parapet

19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS

20.2 %

20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR Six (6) families

NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

By order of the Board of Adjustment of Bergenfield

AFFIDAVIT BOARD OF ADJUSTMENT

OF THE

BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY
COUNTY OF BERGEN
BOROUGH OF BERGENFIELD

SS:

C.R. Restoration, LLC
Name of Applicant

Claudia Ramirez being duly sworn deposes

and says; that ^{she has an office} he reside at number 153 Merritt Avenue

in the Borough of Bergenfield, in the County of Bergen

in the State of New Jersey, and says that he is the

appellant making appeal for a variation/appeal of the

provisions of the Zoning Ordinance of the Borough of

Bergenfield in connection with the property which is the

subject matter of this appeal and known as number 83 Hickory Avenue

designated as Block 28 and Lot 38 on the Assessment

Map of the Borough of Bergenfield. That all statements made

in this application, and statements made in the plans

submitted herewith are true. The applicant further states

that he is ready and able to proceed with the construction if

and when the application is granted.

Sworn to me this- 2ND

day of February 16 2021

J. D. Costanzo
Notary Public

C.R. Restoration, LLC
Applicant

[Signature]

Note: All partnerships and corporations must supply a list of stockholder with a 10% or greater share, they must also be represented by an Attorney at the hearing.

JANINE D. COSTANZO
A Notary Public of New Jersey
My Commission Expires September 24, 2021

Claudia Ramirez 50%
Cesar Ramirez 50%




AFFIDAVIT OF OWNERSHIP

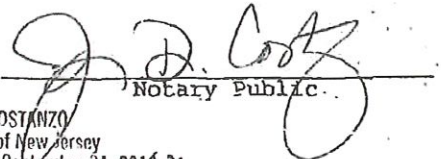
STATE OF NEW JERSEY, SS:
 COUNTY OF BERGEN

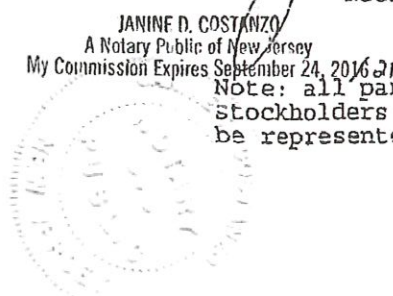
Claudia Ramirez of full age, duly sworn ^{she has an office}
 according to the law, deposes and says that he resides at
153 Merritt Avenue in the Borough of Bergenfield
in the County of Bergen in the State
 of New Jersey that ^{Dr. Investors, LLC} he is the owner in fee of real
 property lying in the Borough of Bergenfield, known and
 designated as number 83 Hickory Avenue and that ^{Dr. Investors, LLC} he
 hereby authorizes C.R. Restoration, LLC to make the
 within application in his behalf and that the statements in
 the said application are true.

SWORN TO BEFORE ME THIS 2ND
 DAY OF February 2021


 Owner

CLAUDIA RAMIREZ, Manager


 Notary Public



Note: all partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing;



TAX COLLECTOR'S CERTIFICATION
PAYMENT OF PROPERTY TAXES

Date: 1/29/21

Block: 28 Lot: 38 Address: 83 Hickory Avenue

Owners Name: Dr. Investors, LLC

Owner's Address: 153 Merritt Avenue, Bergenfield, NJ 07621

Phone Number: 201-681-3352 Cell Number: 201-658-4320

Application for: Board of Adjustment Planning Board
 Building Department Permit

Description of Work to be Performed:
Applicant seeks a use variance and bulk variances for six (6) townhouses

All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit from the building department for construction or certificate of occupancy. "No Exceptions"

Tax Office Use Only:

Tax Current: Yes No Last Quarter Paid On: _____
(Printout Attached)

Tax Collector / Deputy Tax Collector Certification:

Date:

Certification Number: _____



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

October 28, 2020

Cesar F. Ramirez
83 Hickory Avenue
Bergenfield, NJ 07621

RE: Build Six Town Houses

Dear Mr. Ramirez

Your application to build six town houses has been denied for the following reason:

1. Change of use from R-5 to MR zone required improved lot coverage 7,695.1 sq. feet or 35%. Proposed improved lot coverage 11,218.8 sq. feet or 51.03%.

You have the right to appeal my decision to the site plan and then to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,



Michael Ravenda
Zoning Officer

Borough of Bergenfield
Site Plan Committee Minutes
January 11, 2021

1. Call to Order

The meeting was called to order at 7:00 PM

2. Roll Call:

	<u>Robert Rivas</u>	<u>Robert Mader</u>	<u>Chris Naylis</u>
<u>Bobby Byrnes</u>	<u>Phil Neville</u>	<u>John Pampaloni</u>	<u>Michael Ravenda</u>
<u>Scott Jezequel</u>	<u>Joseph Scalora</u>		

3. Item 1.

CR Restoration, LLC
153 Merritt Avenue
Bergenfield, NJ 07621

Site Address 83 Hickory Avenue
Seeks to build 6 unit Townhouse. Seeking Use Change, and 6 bulk variances.

Attorney: Bruce Rosenberg
Winne, Banta, Basralian, Kahn PC
21 Main Street Suite 101
Hackensack, NJ 07601
201-562-1027

Architect: Jacob Solomon
14-25 Plaza Road
Fairlawn, NJ 07410
201-797-0294

Engineer: Lapatka Engineering
12 RT. 17 North Suite 230
Paramus, NJ 07652
201-587-1600

Open Meeting:

Joe Scalora opened the meeting at 7:08PM

Bruce Rosenberg:

Bruce presented the project and gave a brief yet detailed synopsis. He turned it over to Dan LaMothe, from Lapatka Engineering.

Dan LaMothe from Lapatka Engineering covered the following points:

- Description of lot size
- Location of proposed building
- Storm water management system
- Fire Hydrant location
- Underground utilities
- Trash enclosure
- Water service hot box, (if required by Suez)

Jacob Solomon the architect for the project gave a description of the building:

- 6 – 2 bedroom townhomes with a 1 car garage.
- Hi-end finishes throughout
- Fire walls separated each unit, (from 1st floor slab to the underside of roof).
- Building height of 30' except at the architectural details on the front elevation which will be 32'.9
- Exterior finishes will include: stone veneer, stucco, and horizontal siding
- The building will have a flat roof with no attic or dead space above the units.
- The price point for the units is between 500,000 – 600,000 thousand dollars

The meeting was opened up for comments from board members

Phil Neville:

The curb cut as designed is as wide as the property leaving no room for the residents to put their trash containers. The trash containers need to be in front of their property and not the neighbor's.

The DPW will not pull-on private property to collect the trash and the bins need to be set on the curb.

He suggested that the curb cut and apron be shortened to accommodate the bins on either side.

Bruce Rosenberg:

The owners might use a private carting service for the trash.

Phil Neville:

The owners may use a private carting service but the Borough will not give a tax rebate or adjust the taxes as a result of the DPW not collecting the trash. He stated it is best to provide room for the Borough trash bins at the curb and eliminate any future problems.

Dan LaMothe:

Dan will look into shrinking the apron to accommodate the trash bins.

Phil Neville:

How will you handle snow plowing and or snow removal? The snow from the driveway or parking area cannot be brought out into the street.

Dan LaMothe:

There is enough room along the perimeter of driveway and parking area to pile the snow, if it was an unusually heavy snowfall the snow would have to be removed at the expense of the HOA.

Chris Naylis:

Questioned the firewalls and how they will be built.

Jacob Solomon:

Confirmed that the units will be framed front to back eliminating any breaks in the firewall. The firewall will terminate at the underside of the roof deck with fire retardant material installed 4' from the firewall at each side. The fire wall will have a 2hr rating.

Chris Naylis:

Questioned the fire hydrant and whether it will be maintained privately or through Suez Water.

Dan LaMothe:

That determination has not been made by Suez Water as of yet, but the hydrant will probably be maintained by the HOA.

Chris Naylis:

Chris expressed concern about the size of the driveway and parking area as related to bringing in fire trucks and equipment in the event of a fire. The size constraints may slow down the response. He stated that if the building was covered with a sprinkler system it would make up for any possible delays getting trucks to access the fire.

He stated that if they do install a sprinkler system it should cover all voids and dead spaces, storage etc.

Bruce Rosenbereg:

He has had serious discussions with his client regrading a sprinkler system and that they would revisit the issue based on these concerns.

Robert Mader:

Questioned the amount of parking spaces provided and any handicap parking and proper markings for the fire zones.

Dan LaMothe:

Confirmed 18 parking spaces on site, 6 garages, 6 driveway and 6 additional for guest parking. Handicap parking is not required because the units will be sold. The fire zones will be marked on both sides of the driveway and at the front of the parking area along the property line.

Robert Mader:

Expressed concern over exiting the driveway because of the intersection with Esser Place. After a brief discussion it was determined that there is not enough traffic coming from Esser Place to have an impact.

Expressed concern over the possibility that neighbors and possibly parishioners from the church might attempt to park in the parking lot. He suggested that the driveway and lot are clearly marked Private Property to eliminate this problem.

Dan LaMothe:

Stated that they will install the proper signage.

Mike Ravenda:

Questioned the location of the fence, and the location and type of plantings that will be installed to insure a proper privacy barrier with the neighboring houses. He also emphasized care be taken not to damage the mature trees during construction.

Mike questioned the size of the sewer main and if it will be adequate for the new loads.

Dan LaMothe:

Confirmed that they are planning on keeping much of the mature landscaping already in place and showed the landscaping detail on the plan pointing out the size, type and quantity of new plantings.

Dan also confirmed the adequacy of the sewer main.

Mike Ravenda:

Mike commented that the builder was not trying to overbuild the site and that 6 units were appropriate for that size of the property.

Joe Scalora:

Expressed concern over the height of the building and impacting the neighbors. He stated that the building should not exceed 30'.

He expressed concern granting a use change from R-5 zone to R-M multi-family zone will set a bad precedent for Bergenfield and is not in favor of this application.

Dan LaMothe:

Dan confirmed that the building itself is at 30' and only the decorative facades on the front elevation are at 32.9'.

Bruce Rosenberg:

Bruce confirmed that a variance regarding zoning would be needed to accommodate this application.

John Pampaloni:

Expressed concern over the amount of impervious surface and questioned the size of the storm water management system.

He questioned the size of the water main and sewer main.

John has the same concerns regarding the size of the driveway and parking areas as it relates to the Fire Department.

Dan LaMothe:

Dan pointed out the locations of the detention trenches in the rear and front of property along with the seepage pits and the various grates and inlets for the water. He stated the system is large enough to contain the water and thereby control the release into the storm system on Hickory Avenue.

Dan confirmed an 8" sewer main on Hickory and stated they will run a 6" line into that main.

Dan was not sure whether the water main will be 4" or 6" It would be determined by Suez and the final configuration relating to the necessity for the hot box.

Bruce Rosenberg:

Confirmed again that he and his client will discuss the sprinkler system.

Bobby Byrnes:

Bobby was not at the meeting, but met with me this morning, January 12, 2021, and gave me his comments after reviewing the plans.

Bobby suggested moving the fire hydrant further into the property and install it directly in front of the building along the curb line along the front property line. He stated this would eliminate the placing of hoses in the entrance driveway. This would allow more room for additional equipment to come into the property.

The drawing calls for Storz connections at the fire hydrant, Bergenfield Fire Department, at this time, does not use that type of connection. A connection suitable for the BFD should be used.

Keep free access to the sides and rear of building from the parking area by eliminating some of the plantings at the sides of the building.

Richard Morf:

Richard was not at the meeting but he did call me and gave comments regarding this application.

He is not in favor of this application, he does not want multi-family units in the middle of an R-5 zone. He stated it is not fair to the property owners that surround this proposed development.

The clients stated their appreciation to everyone for attending the meeting and for their input.

The meeting was closed .

Summary:

Two members of the board expressed opposition to this application because of the location and use change needed.

The following suggestions are made by all the board members.

- Install a sprinkler system in the building
- Modify entrance to accommodate trash bins at the curb
- Move the fire hydrant location
- Give clear access to sides and rear of the building to the Fire Department
- Clearly post property as private to eliminate parking issues

LAPATKA ASSOCIATES, INC.

12 ROUTE 17 NORTH, SUITE 230

PARAMUS, N.J. 07652

TEL: (201) 587-1600

FAX: (201) 587-0063

DRAINAGE CALCULATIONS

For

CR Restoration

BLOCK 28 LOT 38

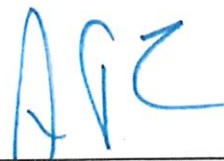
Bergenfield

Bergen County

New Jersey

PROJECT #20-180

Date: 1-20-21



ALEXANDER J. LAPATKA, PE 28218

DL

Introduction:

The following calculations are in support of a Site Plan for CR Restoration located at 83 Hickory Avenue on Lot 38 in Block 28, Borough of Bergen Field, Bergen County, New Jersey. A redevelopment of an existing residential lot is proposed. The redevelopment of the Site will consist of constructing a new 6 unit Townhouse building and parking lot.

The 0.5 acre site is presently developed with existing house, garage, driveway and macadam parking area. The site currently drains to the stormwater conveyance system located in Hickory Avenue. The redevelopment of the site proposes to construct a new retention system to control the stormwater from the proposed development.

The project proposes a slight increase in impervious coverage (+/-0.2 acres), which will result in an increase in storm water runoff. To offset the increase in storm water runoff, a new retention system is proposed. The retention system is sized to retain the volume of the 2 yr., 10yr, 25 yr. and 100 yr. Modified Rational Storms. Under proposed conditions there will be reduction in runoff and runoff volume.

A Time of Concentration (Tc) of 10 minutes was used for existing and proposed conditions.

The rainfall intensities were taken from the NOAA Database.

The project proposes to disturb less than an acre and increase impervious coverage by less than 0.25 acres. As a result the project is NOT considered to be a Major Development.

According to the Web soil survey, the soils in the area of the site are mapped as Dunellen - soils. Dunellen Soils have a Hydrologic Soil Group "A" rating. Hydrologic Soil Group "A" soils are highly permeable soils, that can support retention systems. Prior to construction test holes will be dug in the area of the proposed retention system to confirm permeability.

Proposed storm drains are sized using Manning's equation and are adequate to handle the 25 year design storm.

Storm water Runoff Calculations:

Total Site Area = 0.505 acres

THE RATIONAL METHOD USED IN PEAK RUNOFF CALCULATIONS:

THE MODIFIED RATIONAL METHOD USED IN ROUTING CALCULATIONS:

$Q = CIA$

Q = Runoff

C = Flow Coef. (0.25 Pervious Area, 0.99 Bldg's/Conc/Pavers)

I = Rainfall Intensities Taken from NOAA Database

A = Area

Tc = Time of Concentration

Tc = 10 min.

I₂ = 3.88 in/hr.

I₁₀ = 5.15 in/hr.

I₂₅ = 5.81 in/hr.

I₁₀₀ = 6.76 in/hr.

Existing Conditions:

	AREA ACRES	Tc Min	C AVER.	CXA ACRES	Q2 cfs	Q10 cfs	Q25 cfs	Q100 cfs	
Existing	Impervious Coverage	0.106	10	0.99	0.105	0.41	0.54	0.61	0.71
	Pervious Coverage	0.399	10	0.25	0.100	0.39	0.51	0.58	0.67
	Total	0.505	10	0.41	0.205	0.79	1.05	1.19	1.38
Total	0.505				Total Runoff = 0.79	1.05	1.19	1.38	

Proposed Conditions:

	AREA ACRES	Tc Min	C AVER.	CXA ACRES	Q2 cfs	Q10 cfs	Q25 cfs	Q100 cfs	
To Retention System (Retained on-site)	Impervious Coverage	0.266	10	0.99	0.263	1.02	1.36	1.53	1.78
	Pervious Coverage	0.114	10	0.25	0.029	0.11	0.15	0.17	0.19
	Total	0.380		0.77	0.292	1.13	1.50	1.70	1.97
Bypass Retention (Net Leaving Site)	Impervious Coverage	0.070	10	0.99	0.069	0.27	0.36	0.40	0.47
	Pervious Coverage	0.055	10	0.25	0.014	0.05	0.07	0.08	0.09
	Total	0.125		0.66	0.083	0.32	0.43	0.48	0.56
Total	0.505				Total Net Runoff = 0.32	0.43	0.48	0.56	

Note: Runoff Volume will be reduced for all storms.

Summary:

	Q2 cfs	Q10 cfs	Q25 cfs	Q100 cfs
Existing	0.79	1.05	1.19	1.38
Proposed	0.32	0.43	0.48	0.56
Reduction	0.47	0.63	0.71	0.82

Storm Runoff and Volume Summary 2, 10 & 100 year Design Storms.

Exist CxA Prop. CxA

0.205	0.375
-------	-------

Storm Event Year	Td min	I in/hr	Exist Q cfs	Exist Vol cf	Proposed Q cfs	Proposed Vol cf	Incr Volume cf	System Volume cf	
2	10	3.88	0.79	477	1.45	873	396	2641	OK
	15	3.20	0.66	590	1.20	1,080	490	2641	OK
	30	2.17	0.44	800	0.81	1,464	665	2641	OK
	60	1.35	0.28	995	0.51	1,822	827	2641	OK
	120	0.83	0.17	1,223	0.31	2,240	1,017	2641	OK
Storm Event Year	Td min	I in/hr	Exist Q cfs	Exist Vol cf	Proposed Q cfs	Proposed Vol cf	Incr Volume cf	System Volume cf	
10	10	5.15	1.05	632	1.93	1,158	526	2641	OK
	15	4.27	0.87	787	1.60	1,441	654	2641	OK
	30	3.02	0.62	1,113	1.13	2,038	925	2641	OK
	60	1.95	0.40	1,437	0.73	2,632	1,195	2641	OK
	120	1.21	0.25	1,783	0.45	3,266	1,483	2641	OK
Storm Event Year	Td min	I in/hr	Exist Q cfs	Exist Vol cf	Proposed Q cfs	Proposed Vol cf	Incr Volume cf	System Volume cf	
25	10	5.81	1.19	714	2.18	1,307	593	2641	OK
	15	4.84	0.99	892	1.81	1,633	741	2641	OK
	30	3.49	0.71	1,286	1.31	2,355	1,069	2641	OK
	60	2.29	0.47	1,687	0.86	3,091	1,403	2641	OK
	120	1.45	0.30	2,137	0.54	3,914	1,777	2641	OK
Storm Event Year	Td min	I in/hr	Exist Q cfs	Exist Vol cf	Proposed Q cfs	Proposed Vol cf	Incr Volume cf	System Volume cf	
100	10	6.76	1.38	830	2.53	1,521	690	2641	OK
	15	5.64	1.15	1,039	2.11	1,903	864	2641	OK
	30	4.19	0.86	1,544	1.57	2,827	1,284	2641	OK
	60	2.84	0.58	2,093	1.06	3,833	1,740	2641	OK
	120	1.83	0.37	2,697	0.69	4,940	2,243	2641	OK



NOAA Atlas 14, Volume 2, Version 3
 Location name: Bergenfield, New Jersey, USA*
 Latitude: 40.9325°, Longitude: -73.9919°
 Elevation: 96.83 ft**
 * source: ESRI Maps
 ** source: USGS



POINT PRECIPITATION FREQUENCY ESTIMATES

G.M. Bonnín, D. Martín, B. Lin, T. Parzybok, M.Yekta, and D. Riley

NOAA, National Weather Service, Silver Spring, Maryland

[PF tabular](#) | [PF graphical](#) | [Maps & aeriels](#)

PF tabular

PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour) ¹										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	4.10 (3.72-4.54)	4.91 (4.45-5.42)	5.84 (5.29-6.46)	6.56 (5.93-7.22)	7.45 (6.70-8.22)	8.12 (7.26-8.96)	8.80 (7.81-9.72)	9.43 (8.32-10.5)	10.2 (8.93-11.4)	10.9 (9.38-12.2)
10-min	3.23 (2.92-3.56)	3.88 (3.52-4.28)	4.60 (4.17-5.09)	5.15 (4.65-5.68)	5.81 (5.21-6.40)	6.29 (5.63-6.94)	6.76 (6.01-7.48)	7.22 (6.37-8.00)	7.79 (6.79-8.69)	8.20 (7.07-9.17)
15-min	2.66 (2.42-2.94)	3.20 (2.90-3.53)	3.82 (3.46-4.22)	4.27 (3.86-4.71)	4.84 (4.35-5.34)	5.25 (4.70-5.79)	5.64 (5.02-6.24)	6.03 (5.31-6.68)	6.50 (5.66-7.24)	6.83 (5.89-7.64)
30-min	1.79 (1.62-1.98)	2.17 (1.97-2.40)	2.66 (2.41-2.94)	3.02 (2.73-3.33)	3.49 (3.14-3.85)	3.84 (3.43-4.24)	4.19 (3.73-4.63)	4.53 (3.99-5.02)	4.98 (4.34-5.55)	5.30 (4.58-5.94)
60-min	1.10 (1.00-1.22)	1.35 (1.22-1.49)	1.69 (1.53-1.86)	1.95 (1.76-2.14)	2.29 (2.06-2.53)	2.56 (2.29-2.83)	2.84 (2.52-3.14)	3.12 (2.75-3.46)	3.50 (3.05-3.90)	3.79 (3.27-4.25)
2-hr	0.682 (0.618-0.754)	0.828 (0.751-0.914)	1.04 (0.946-1.15)	1.21 (1.10-1.34)	1.45 (1.30-1.60)	1.64 (1.46-1.81)	1.83 (1.62-2.02)	2.04 (1.79-2.26)	2.32 (2.01-2.58)	2.54 (2.18-2.84)
3-hr	0.507 (0.461-0.559)	0.616 (0.561-0.680)	0.777 (0.706-0.858)	0.905 (0.820-0.998)	1.08 (0.975-1.19)	1.23 (1.10-1.35)	1.38 (1.22-1.52)	1.54 (1.35-1.70)	1.76 (1.52-1.95)	1.94 (1.66-2.16)
6-hr	0.330 (0.301-0.362)	0.399 (0.365-0.440)	0.501 (0.457-0.551)	0.583 (0.530-0.640)	0.699 (0.630-0.766)	0.794 (0.712-0.871)	0.893 (0.795-0.980)	0.999 (0.879-1.10)	1.15 (0.995-1.27)	1.27 (1.09-1.41)
12-hr	0.202 (0.183-0.225)	0.245 (0.222-0.272)	0.309 (0.279-0.343)	0.361 (0.325-0.400)	0.436 (0.390-0.482)	0.500 (0.443-0.552)	0.567 (0.498-0.627)	0.640 (0.556-0.709)	0.745 (0.637-0.827)	0.833 (0.702-0.928)
24-hr	0.113 (0.105-0.124)	0.137 (0.127-0.150)	0.175 (0.161-0.191)	0.207 (0.190-0.225)	0.254 (0.232-0.276)	0.295 (0.266-0.320)	0.339 (0.304-0.369)	0.388 (0.344-0.422)	0.461 (0.401-0.503)	0.523 (0.449-0.573)
2-day	0.066 (0.061-0.073)	0.080 (0.074-0.088)	0.102 (0.094-0.113)	0.121 (0.110-0.133)	0.149 (0.135-0.163)	0.173 (0.155-0.189)	0.199 (0.177-0.218)	0.228 (0.200-0.251)	0.270 (0.233-0.299)	0.307 (0.260-0.341)
3-day	0.047 (0.043-0.051)	0.056 (0.052-0.062)	0.072 (0.066-0.078)	0.085 (0.078-0.092)	0.103 (0.094-0.112)	0.120 (0.108-0.130)	0.137 (0.123-0.149)	0.156 (0.139-0.171)	0.185 (0.161-0.203)	0.208 (0.179-0.230)
4-day	0.037 (0.034-0.040)	0.044 (0.041-0.048)	0.056 (0.052-0.061)	0.066 (0.061-0.072)	0.081 (0.074-0.087)	0.093 (0.085-0.100)	0.106 (0.096-0.115)	0.120 (0.108-0.131)	0.142 (0.125-0.154)	0.159 (0.139-0.174)
7-day	0.025 (0.023-0.026)	0.030 (0.028-0.032)	0.037 (0.034-0.040)	0.043 (0.040-0.046)	0.052 (0.048-0.056)	0.059 (0.054-0.063)	0.067 (0.061-0.072)	0.075 (0.068-0.081)	0.087 (0.077-0.095)	0.097 (0.085-0.106)
10-day	0.020 (0.018-0.021)	0.024 (0.022-0.025)	0.029 (0.027-0.031)	0.033 (0.031-0.036)	0.040 (0.037-0.042)	0.045 (0.041-0.048)	0.051 (0.046-0.054)	0.056 (0.051-0.061)	0.065 (0.058-0.070)	0.072 (0.063-0.078)
20-day	0.013 (0.013-0.014)	0.016 (0.015-0.017)	0.019 (0.018-0.020)	0.021 (0.020-0.023)	0.025 (0.023-0.026)	0.027 (0.025-0.029)	0.030 (0.028-0.032)	0.032 (0.030-0.035)	0.036 (0.033-0.039)	0.039 (0.035-0.042)
30-day	0.011 (0.010-0.012)	0.013 (0.012-0.014)	0.015 (0.014-0.016)	0.017 (0.016-0.018)	0.019 (0.018-0.020)	0.021 (0.020-0.022)	0.023 (0.021-0.024)	0.024 (0.023-0.026)	0.026 (0.024-0.028)	0.028 (0.026-0.030)
45-day	0.009 (0.009-0.010)	0.011 (0.010-0.012)	0.013 (0.012-0.013)	0.014 (0.013-0.015)	0.016 (0.015-0.017)	0.017 (0.016-0.018)	0.018 (0.017-0.019)	0.019 (0.018-0.021)	0.021 (0.019-0.022)	0.022 (0.020-0.023)
60-day	0.008 (0.008-0.009)	0.010 (0.009-0.010)	0.011 (0.011-0.012)	0.012 (0.012-0.013)	0.014 (0.013-0.014)	0.015 (0.014-0.016)	0.016 (0.015-0.017)	0.017 (0.016-0.017)	0.018 (0.016-0.019)	0.018 (0.017-0.019)

¹ Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

[Back to Top](#)

PF graphical

or other approved methods may be employed.

TABLE 7.1 TYPICAL RUNOFF COEFFICIENTS (C VALUES) FOR 100-YEAR FREQUENCY STORM				
LAND-USE DESCRIPTION	HYDROLOGIC SOIL GROUP			
	A	B	C	D
Cultivated land: without conservation treatment	0.49	0.67	0.81	0.88
with conservation treatment	0.27	0.43	0.61	0.67
Pasture or range land: poor condition	0.38	0.63	0.78	0.84
good condition	NA	0.25	0.51	0.65
Meadow: good condition	NA	NA	0.44	0.61
Wood or forest land: thin stand, poor cover, no mulch	NA	NA	0.59	0.79
good cover	NA	NA	0.45	0.59
Open spaces, lawns, parks, golf courses, cemeteries: good condition, grass cover on 75% or more of area	NA	0.25	0.51	0.65
fair condition, grass cover on 50-75% of area	NA	0.45	0.63	0.74
Commercial and business areas (85% impervious)	0.84	0.90	0.93	0.96
Industrial districts (72% impervious)	0.67	0.81	0.88	0.92
Residential:				
Average lot size Average impervious				
1/8 acre 65%	0.59	0.76	0.86	0.90
1/4 acre 38%	0.25	0.55	0.70	0.80
1/3 acre 30%	NA	0.49	0.67	0.78
1/2 acre 25%	NA	0.45	0.65	0.76
1 acre 20%	NA	0.41	0.63	0.74
Paved parking lots, roofs, driveways, etc.	0.99	0.99	0.99	0.99
Streets and roads:				
paved with curbs and storm sewers	0.99	0.99	0.99	0.99
gravel	0.57	0.76	0.84	0.88
dirt	0.49	0.69	0.80	0.84
NOTE:	NA denotes information is not available; design engineers should rely on another authoritative source.			
SOURCE:	Technical Manual for Land Use Regulation Program, Department of Environmental Protection, Bureaus of Inland and Coastal Regulations, Stream Encroachment Permits (Trenton, New Jersey, revised September 1995), p. 12.			

Retention System Design Calculations:

Available Volume:

M.H. Storage: $\text{Pi} \cdot \frac{1}{4} \times \text{Dia.}^2 \times \text{Depth}$
 Dia. = 6 ft.
 Depth = 6 ft.
 M.H. Storage = 170 cf.

Stone Volume: Length x Width x Depth - (Volume of M.H.)

Vol. Occupied By M.H.
 Dia. = 7 ft.
 Depth = 6 ft.
 M.H. Vol. = 231 cf.

Stone Volume
 Length = 12 ft.
 Width = 12 ft.
 Area = 144 ft.
 Depth = 8 ft.
 Stone Vol. = 921 cf.

Storage in Stone: 0.4 Voids x Stone Volume

Storage in Stone = 368 cf.
Seep. Pit Storage: M.H. Storage + Storage in Stone
 Seep. Pit Storage = 538 cf.
 #of Seepage Pits = 2
 Storage in Pits = 1076 cf.

Retention Trench Volume:

Pipe Storage:
 Inner Dia. = 12 in.
 Outer Dia. = 14 in.
 Length = 192 ft.
 Inner Volume = 151 cf.
 Outer Volume = 205 cf.

Stone Storage
 Length = 187 ft.
 Width = 5 ft.
 Depth = 4 ft.
 (Minus Pipe) = 205 cf.
 Stone Vol. = 3535 cf.

0.4 Voids x Stone Volume
 Storage = 1414 cf.

TOTAL SYSTEM STORAGE = 2641 cf.
 TOTAL SYSTEM AREA = 1223 sf.

Required Volume:

stone bed area	total volume provided
sf	cf
1223	2641

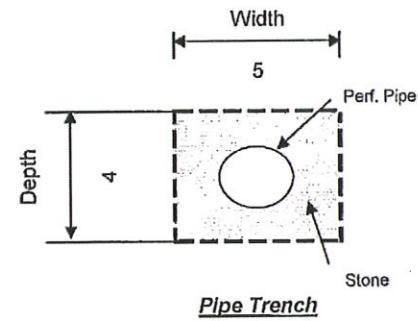
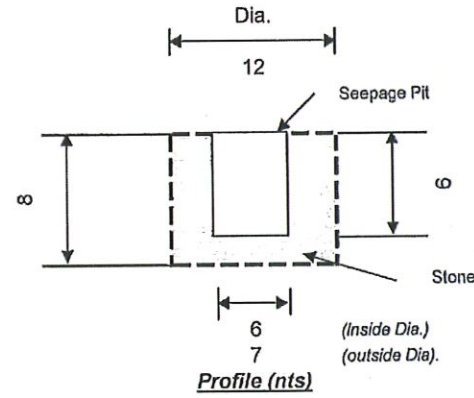
Area =	0.38	Ac.
Imp. Area =	0.266	Ac.
C =	0.77	
Time of Conc. Tc =	10	min
CXA =	0.292	
Seep. Rate =	6	in/hr (HSG "A")
Seep. Rate =	0.100	in/min
Seep. Rate =	0.00014	ft/s
Seep. Rate =	0.169861	cfs ***

NOTE: a stone void ratio of 0.4 was used in calculating total volume.

Td min	1100 in/hr	Q100 cfs	C x A*	Req'd Storm Volume cf	Vol. Pit + seepage volume cf	percent volume used	seep volume cf
10	6.76	1.97	0.292	1,184	2,743	43%	102
15	5.64	1.65	0.292	1,481	2,794	53%	153
30	4.19	1.22	0.292	2,201	2,947	75%	306
60	2.84	0.83	0.292	2,984	3,252	92%	612

*** SEEPAGE RATE (CFS) = STONE BED AREA (SF) x SEEPAGE RATE (FT/S)

Seepage Pit Detail (nts)



Pipe Flow Calculations

From	To	C x A	Tc min	Storm Freq Yr	I25 in/hr	Q25 cfs	Q-cap. cfs	CAPACITY USED %	PIPE DIA Inches	SLOPE % grade	N-VALUE	MATERIAL type
103R	LI 103 (Syst)	0.052	10	25	5.78	0.30	1.03	29%	6	2.00%	0.010	Type S HDPE
102R	LI 102 (Syst)	0.052	10	25	5.78	0.30	1.03	29%	6	2.00%	0.010	Type S HDPE
102	101	0.147	10	25	5.78	0.85	3.27	26%	12	0.50%	0.010	Type S HDPE
101	(Ret Syst)	0.114	10	25	5.78	0.66	3.27	20%	12	0.50%	0.010	Type S HDPE
100	(Ret Syst)	0.032	10	25	5.78	0.18	3.27	6%	12	0.50%	0.010	Type S HDPE

Drainage Areas

AREA I.D.	AREA Ac.	IMPERV. Area Ac.	PERV. Area Ac.	C AVERAGE	CxA ACRES
CB 100	0.036	0.031	0.005	0.89	0.032
CB 101	0.121	0.113	0.008	0.94	0.114
LI 102	0.060	0.008	0.052	0.35	0.021
LI 103	0.060	0.008	0.052	0.35	0.021
103R	0.053	0.053	0.000	0.99	0.052
102R	0.053	0.053	0.000	0.99	0.052
Total To Ret. System	0.383	0.266	0.117	0.76	0.293
Bypass	0.122	0.070	0.052	0.67	0.082
Total	0.505	0.336	0.169	0.74	0.375

Hydrologic Soil Group—Bergen County, New Jersey



Map Scale: 1:440 if printed on A portrait (8.5" x 11") sheet.

0 5 10 20 30 Meters

0 20 40 80 120 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 18N WGS84

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
DuuB	Dunellen-Urban land complex, 3 to 8 percent slopes	A	0.6	100.0%
Totals for Area of Interest			0.6	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

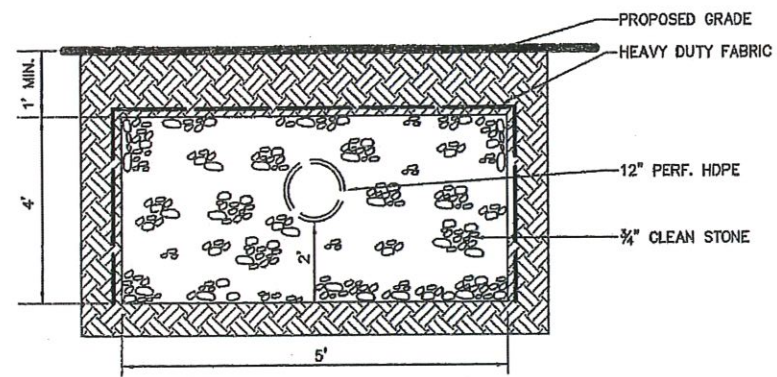
Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

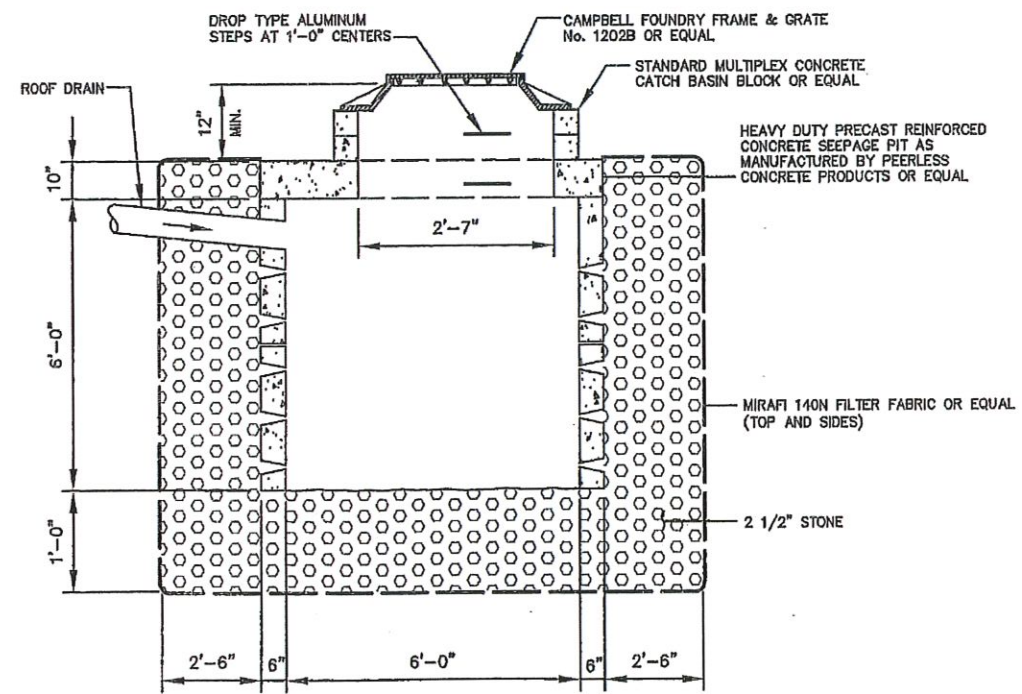
If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

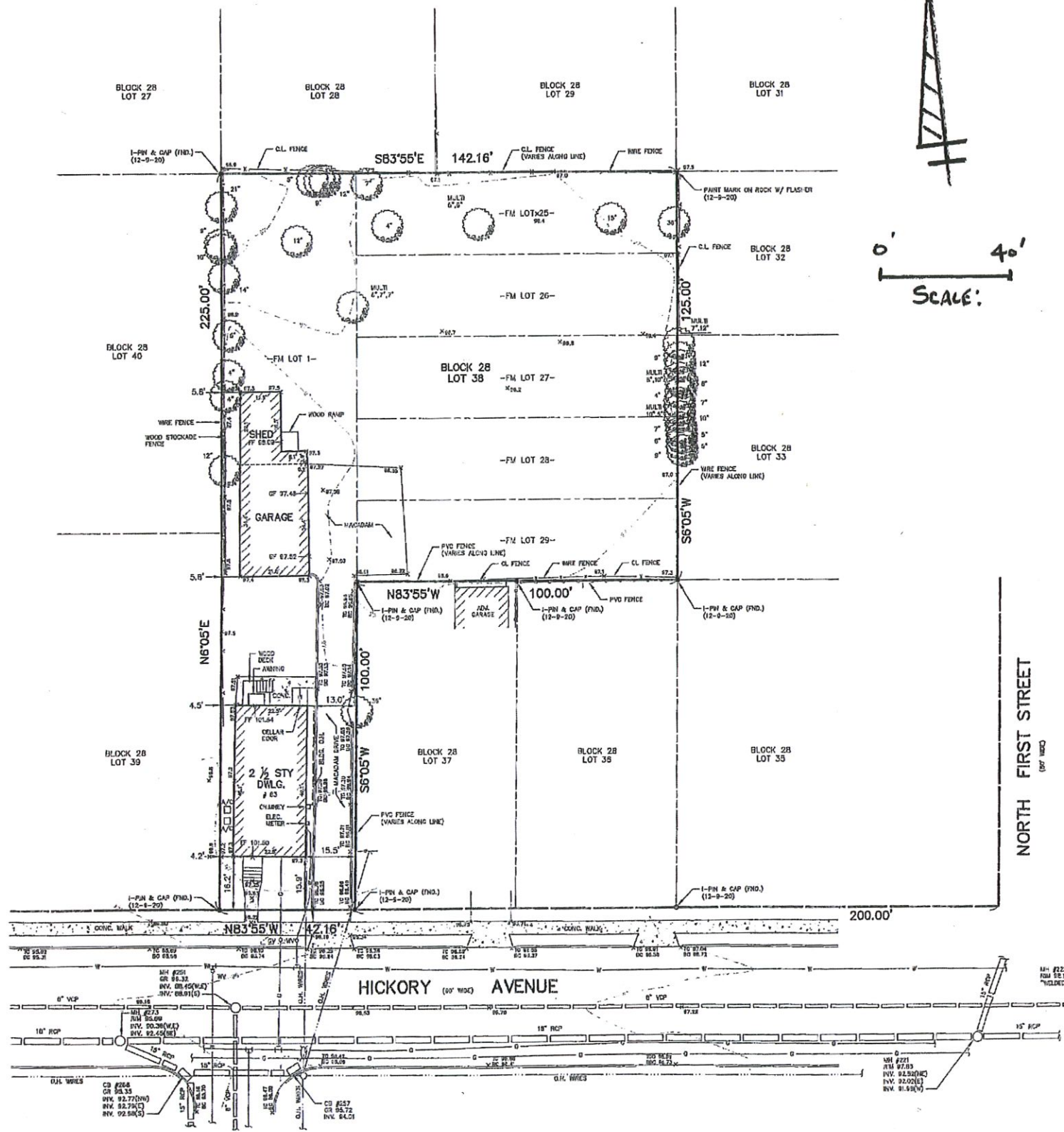
Aggregation Method: Dominant Condition



RETENTION TRENCH DETAIL
(NTS)

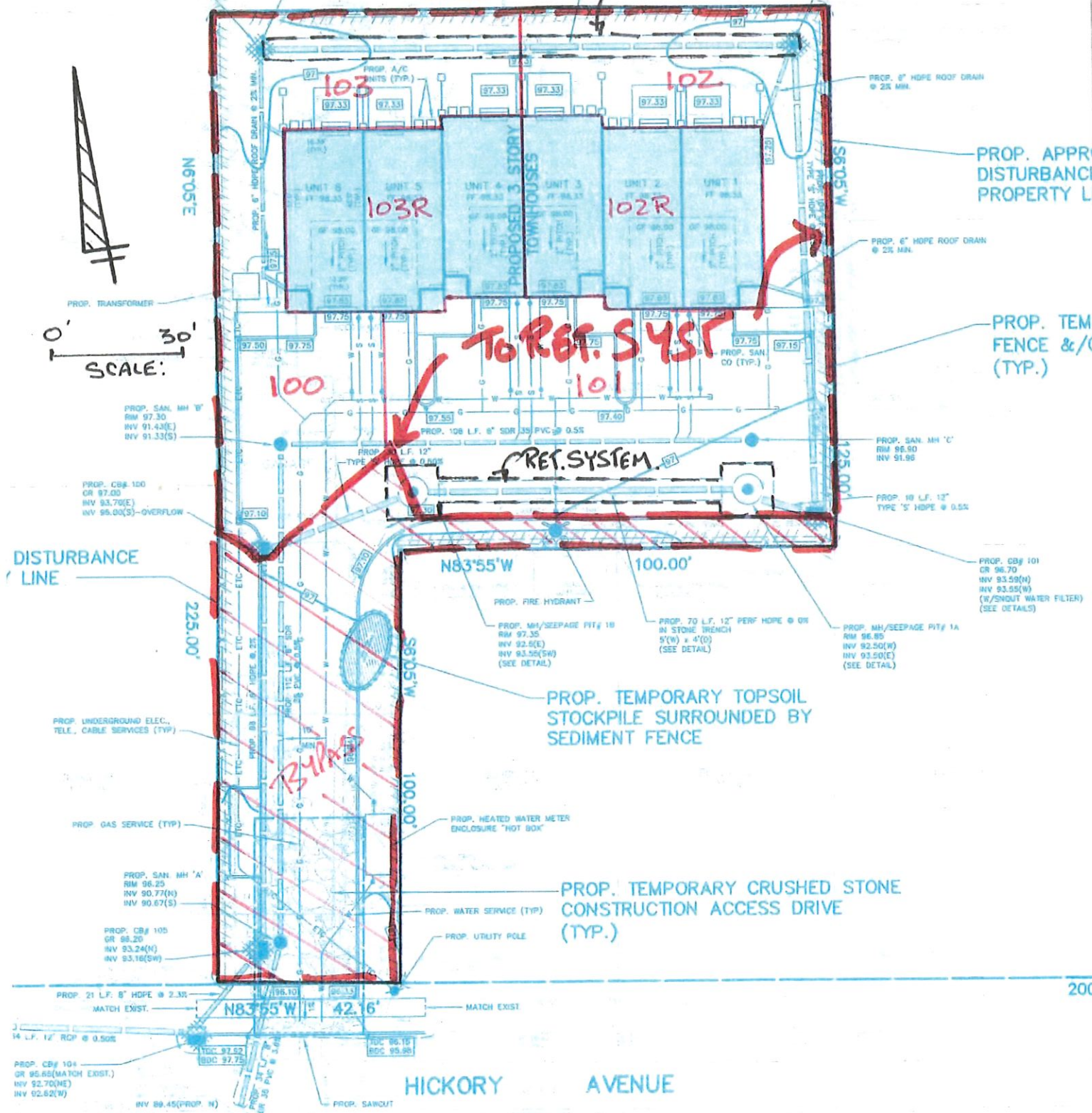


SEEPAGE PIT DETAIL



EXISTING CONDITIONS

INLET FILTER
N (TYP.)



PROPOSED CONDITIONS
D.A. MAP

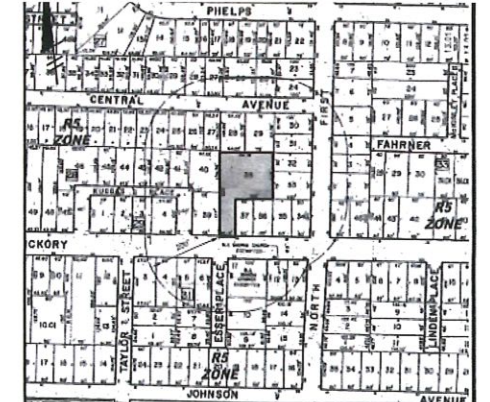
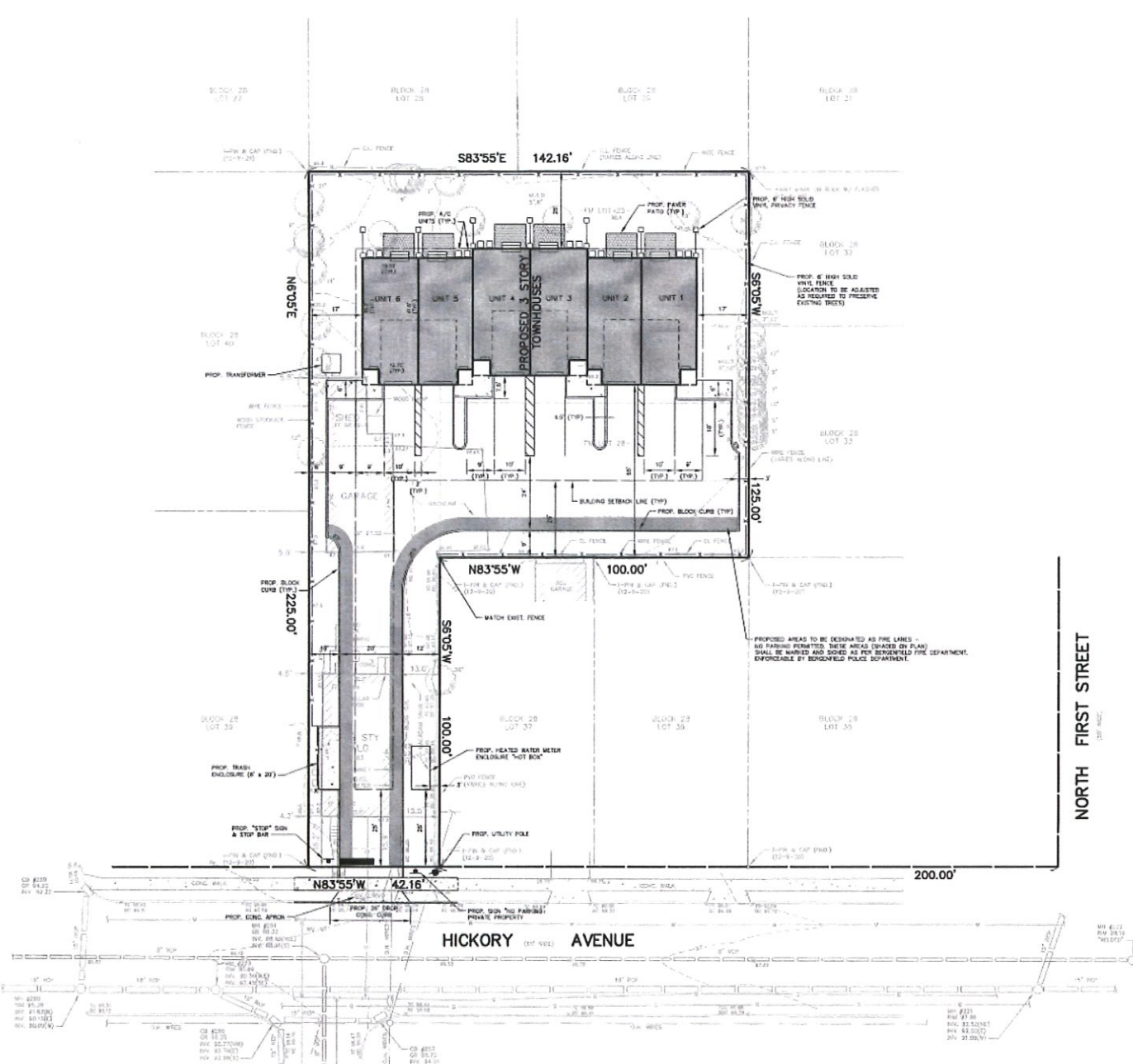
PROPERTY OWNERS WITHIN 200'

Blk: 28, 73, Property Class: 2	Owner: KIEHNS, JOSEPHINE	Prop Loc: 89 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 28, 24, Property Class: 2	Owner: FRANCELLO, RANON & VEZINA	Prop Loc: 82 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 28, 25, Property Class: 2	Owner: HOCHMANN, ANTHONY & SANTA MARIA	Prop Loc: 64 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 28, 26, Property Class: 2	Owner: STOCKWELL, CHRISTOPHER & VEZINA	Prop Loc: 66 E CENTRAL AVENUE CLINTON, NJ 07024
Blk: 28, 27, Property Class: 1	Owner: CASASQUILLA, TOMAS	Prop Loc: 68 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 28, 29, Property Class: 2	Owner: JAWA, JAMON & LACIV, DORIAN	Prop Loc: 80 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 28, 30, Property Class: 2	Owner: HEITZ, THOMAS & CHEVILLE	Prop Loc: 154 N FIRST STREET BERGENFIELD, NJ 07021
Blk: 28, 31, Property Class: 2	Owner: TULLER, SAMWATHEN & DANIELLE	Prop Loc: 150 N FIRST ST BERGENFIELD, NJ 07021
Blk: 28, 32, Property Class: 2	Owner: WILLES, DANIEL & PATRICIA A	Prop Loc: 146 N FIRST STREET BERGENFIELD, NJ 07021
Blk: 28, 33, Property Class: 2	Owner: SIRIANO, GIUSEPPE	Prop Loc: 144 N FIRST STREET BERGENFIELD, NJ 07021
Blk: 28, 34, Property Class: 2	Owner: NEEL, SPIRODON & NICOLA	Prop Loc: 93 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 28, 35, Property Class: 2	Owner: CAVALLIGIAN, ANGELO	Prop Loc: 95 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 28, 36, Property Class: 2	Owner: RAHMAN, SAID EL	Prop Loc: 91 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 28, 37, Property Class: 2	Owner: VUCIC, ENRIQUE & CRISTINA R	Prop Loc: 87 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 28, 38, Property Class: 2	Owner: DR INVESTORS LLC	Prop Loc: 83 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 28, 39, Property Class: 2	Owner: BARNEY, DONALD M & ELISA W	Prop Loc: 73 HICKORY AVENUE GARFIELD, NJ 07026
Blk: 28, 40, Property Class: 2	Owner: BERGMAN, ROSEMARIE & RAYMOND G	Prop Loc: 71 AVENUE PLACE BERGENFIELD, NJ 07021
Blk: 28, 41, Property Class: 2	Owner: ROBERTS, ALFRED N, JR	Prop Loc: 69 AVENUE PLACE BERGENFIELD, NJ 07021
Blk: 28, 42, Property Class: 2	Owner: DRONKO-WAZ, ALMA	Prop Loc: 65 AVENUE PLACE BERGENFIELD, NJ 07021
Blk: 28, 43, Property Class: 2	Owner: CHAZ, LAWRENCE A & MARINA ONG	Prop Loc: 61 AVENUE PLACE BERGENFIELD, NJ 07021
Blk: 28, 1, Property Class: 2	Owner: ARELLO (ERC), MARCA LUCIA V	Prop Loc: 61 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 28, 4, Property Class: 2	Owner: NEUM, BRUNELLA & JOHN	Prop Loc: 55 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 27, 24, Property Class: 2	Owner: RODRIGUEZ, URSEL & VANESSA LOPEZ	Prop Loc: 154 N FIRST ST BERGENFIELD, NJ 07021
Blk: 27, 25, Property Class: 2	Owner: ESPINAL, ALEJANDRO & IVARCA N	Prop Loc: 81 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 27, 26, Property Class: 2	Owner: ALEXANDER, SPIRO	Prop Loc: 73 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 27, 27, Property Class: 2	Owner: VAN HORN, DANIEL & DENISE	Prop Loc: 63 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 27, 28, Property Class: 2	Owner: CANCELLO, JOHN B & CHELSEA M	Prop Loc: 61 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 27, 29, Property Class: 2	Owner: PATEL, TARA PRAYONKAT ETAL	Prop Loc: 59 E CENTRAL AVENUE BERGENFIELD, NJ 07021
Blk: 31, 3, Property Class: 2	Owner: SINGH, RUPINDER	Prop Loc: 60 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 31, 4, Property Class: 2	Owner: CALZADA, RIVER & WANCY	Prop Loc: 76 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 31, 5, Property Class: 2	Owner: PETERSON, DAVID & SUZANNE	Prop Loc: 40 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 31, 6, Property Class: 2	Owner: CORREA, DEBIE & MICHAEL	Prop Loc: 82 HICKORY AVENUE BERGENFIELD, NJ 07021
Blk: 31, 7, Property Class: 2	Owner: ULLERS, ANNA-LYN	Prop Loc: 8 ESSER PLACE BERGENFIELD, NJ 07021
Blk: 33, 1, Property Class: 4A	Owner: JACKSON, JOHN H	Prop Loc: 141 HICKORY AVENUE CHESSKILL, NJ 07026
Blk: 33, 2, Property Class: 2	Owner: DIENER, NARY & JOSE	Prop Loc: 141 N FIRST STREET BERGENFIELD, NJ 07021
Blk: 33, 3, Property Class: 2	Owner: COMPTON, JOAN C	Prop Loc: 147 N FIRST STREET BERGENFIELD, NJ 07021
Blk: 33, 4, Property Class: 2	Owner: DOWEN, GEORGE & NACHEL	Prop Loc: 151 N FIRST STREET BERGENFIELD, NJ 07021
Blk: 33, 5, Property Class: 2	Owner: GONZALEZ, CARLOS A & ANGELA R	Prop Loc: 155 N FIRST STREET BERGENFIELD, NJ 07021
Blk: 33, 6, Property Class: 2	Owner: KIM, JUNG SUN	Prop Loc: 161 N FIRST ST BERGENFIELD, NJ 07021
Blk: 33, 45, Property Class: 2	Owner: JACKSON, JOHN	Prop Loc: 105 HICKORY AVENUE CHESSKILL, NJ 07026

LEGEND

EXISTING CONTOUR	
PROPOSED CONTOUR	
EXISTING ELEVATION	
PROPOSED ELEVATION	
EXISTING MANHOLE	
PROPOSED MANHOLE	
EXISTING CATCHBASIN	
PROPOSED CATCHBASIN	
PROPOSED FLAT GRADE CATCHBASIN	
PROPOSED SEWAGE INT	
EXISTING SANITARY SEWER	
PROPOSED SANITARY SEWER	
EXISTING STORM SEWER	
PROPOSED STORM SEWER	
EXISTING UTILITIES	
PROPOSED UTILITIES	
EXISTING GAS VALVE	
EXISTING WATER VALVE	
EXISTING HYDRANT	
PROPOSED HYDRANT	
EXISTING UTILITY POLE	
PROPOSED UTILITY POLE	
EXISTING UTILITY WITH LIGHT	
EXISTING OVERHEAD WIRES	
EXISTING CITY WIRE	
EXISTING SIGN	
PROPOSED SIGN	
EXISTING FENCE	
PROPOSED FENCE	

UNDER AUTHORITY OF REVISED STATE STATUTE 40:27-1, ET SEQ., THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT, DIVISION OF DEVELOPMENT REVIEW, ON BEHALF OF THE COUNTY PLANNING BOARD, COUNTY OF BERGEN, HAS REVIEWED THIS APPLICATION AND HAS DETERMINED THAT IT IS NOT SUBJECT TO COUNTY PLANNING BOARD APPROVAL.



NOTES:

- OWNER: DR INVESTORS LLC
63 HICKORY AVENUE
BERGENFIELD, NJ 07021
 - PROPERTY LOCATED IN THE "RS" (RESIDENTIAL ONE AND TWO FAMILY DWELLING) ZONE.
 - ZONING DATA:
- | CRITERIA: | REQUIRED | PROPOSED |
|--|---------------|----------|
| MIN. LOT AREA (SQ FT) | 10,000 | 21,288 |
| MIN. LOT WIDTH (FT) | 100 | 42.16 |
| MIN. IMPROVED LOT COVERAGE (%) | 40 | 63.2 |
| MIN. LOT COVERAGE (%) | 30 | 20 |
| MIN. BUILDING HEIGHT (FT/STORIES) | 30/2 | 30/3 |
| MIN. FRONT YARD (FT) | 25 | 25 |
| MIN. SIDE YARD - EACH (FT) | 15 | 17 |
| - TOTAL (FT.) | 30 | 34 |
| MIN. REAR YARD (FT) | 25 | 25 |
| MIN. PARKING SPACES (No.) | 15 | 18 |
| MAX. DRIVEWAY WIDTH (FT.) | 17 | 20 |
| MIN. DRIVEWAY SETBACK TO PROPERTY LINE (FT.) | 3 | 3 |
| MAX. CURB OUT (FT.) | 20 | 26 |
| ACCESSORY BUILDING (WATER METER ENCLOSURE) | 15 | 4.3 |
| SIDE YARD SETBACK (FT.) | NOT PERMITTED | YES |
- ⊙ DENOTES EXISTING NON-CONFORMITY.
 - ⊕ DENOTES VARIANCE REQUIRED FOR THIS PROPOSAL.
 - Ⓢ ZONING REQUIREMENTS SHOWN FOR TWO FAMILY IN RS ZONE.
 - Ⓢ MIN. PARKING SPACES (No.) = 15
 - Ⓢ TOWNHOUSE UNITS (3 BEDROOM) x 2.4 = 14.4 OR 15 SPACES
PROPOSED 6 GARAGE DRIVEWAY COMBOS + 6 ON STREET PARKING SPACES
(6 x 2.0) + 6 = 18 SPACES
 - Ⓢ LOT WIDTH EQUALS 42.16 AT FRONT SETBACK AND 142.16 IN AREA OF PROPOSED BUILDING.
 - Ⓢ MAX. DRIVEWAY WIDTH EQUAL 19 FT. OR 40% OF LOT WIDTH (17')
 - Ⓢ APPROXIMATE SETBACK TO WATER METER ENCLOSURE. SIZE OF METER ENCLOSURE TO BE DETERMINED BY WATER COMPANY.
 - Ⓢ BUILDING HEIGHT TO ROOF LINE = 30 FT. (HEIGHT TO ARCHITECT ELEMENT 32.5 FT.)
 - EXISTING IMPERVIOUS AREA (SQ.F.) = 4,802
PROPOSED IMPERVIOUS AREA (SQ.F.) = 13,000
PROPOSED INCREASE IN IMPERVIOUS AREA (SQ.F.) = 9,298
 - LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS. IF THERE ARE ANY CONFLICTS WITH THIS PLAN, THE ENGINEER / ARCHITECT SHALL BE NOTIFIED BEFORE COMMENCING CONSTRUCTION. CONTRACTOR'S INVESTIGATION SHALL INCLUDE, BUT NOT BE LIMITED TO, LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND CLEARANCE AT CROSSINGS. TEST HOLES MAY BE NECESSARY. COMMENCEMENT OF CONSTRUCTION SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR OF THIS PLAN, CONDITIONS AND CONSEQUENCES THEREOF. RESULTS OF FINDINGS MAY NECESSITATE ADJUSTMENTS TO THIS PLAN.
 - ALL CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS AND REGULATIONS OF THE BOROUGH OF BERGENFIELD, THE COUNTY OF BERGEN, AND ADA REGULATIONS.
 - CONTRACTOR SHALL CALL GARDEN STATE LOCATOR SERVICE (1-800-272-1000) IN ADVANCE OF BEGINNING ANY ACTIVITY ON THIS SITE AND IN ACCORDANCE WITH STATUTORY REQUIREMENTS.
 - SOIL LOGS AND PERCOLATION TESTS ARE TO BE PERFORMED AT THE LOCATIONS OF THE PROPOSED RETENTION SYSTEM PRIOR TO CONSTRUCTION. THE TEST RESULTS ARE TO BE SUBMITTED TO THE BOROUGH ENGINEER FOR REVIEW AND APPROVAL.
 - ALL EXISTING STRUCTURES ON SITE SHALL BE DEMOLISHED/REMOVED.
 - FIRE LANE IS TO BE STRIPED AND SIGNED IN ACCORDANCE WITH BERGENFIELD FIRE DEPARTMENT.
 - AN AS-BUILT SURVEY IS TO BE PREPARED UPON COMPLETION OF SITE IMPROVEMENTS.

3-23-21	REVISED LAYOUT	FL
1-20-21	REVISED PER BERGENFIELD SITE PLAN COMMITTEE	FL
DATE	REVISION	BY



SITE PLAN

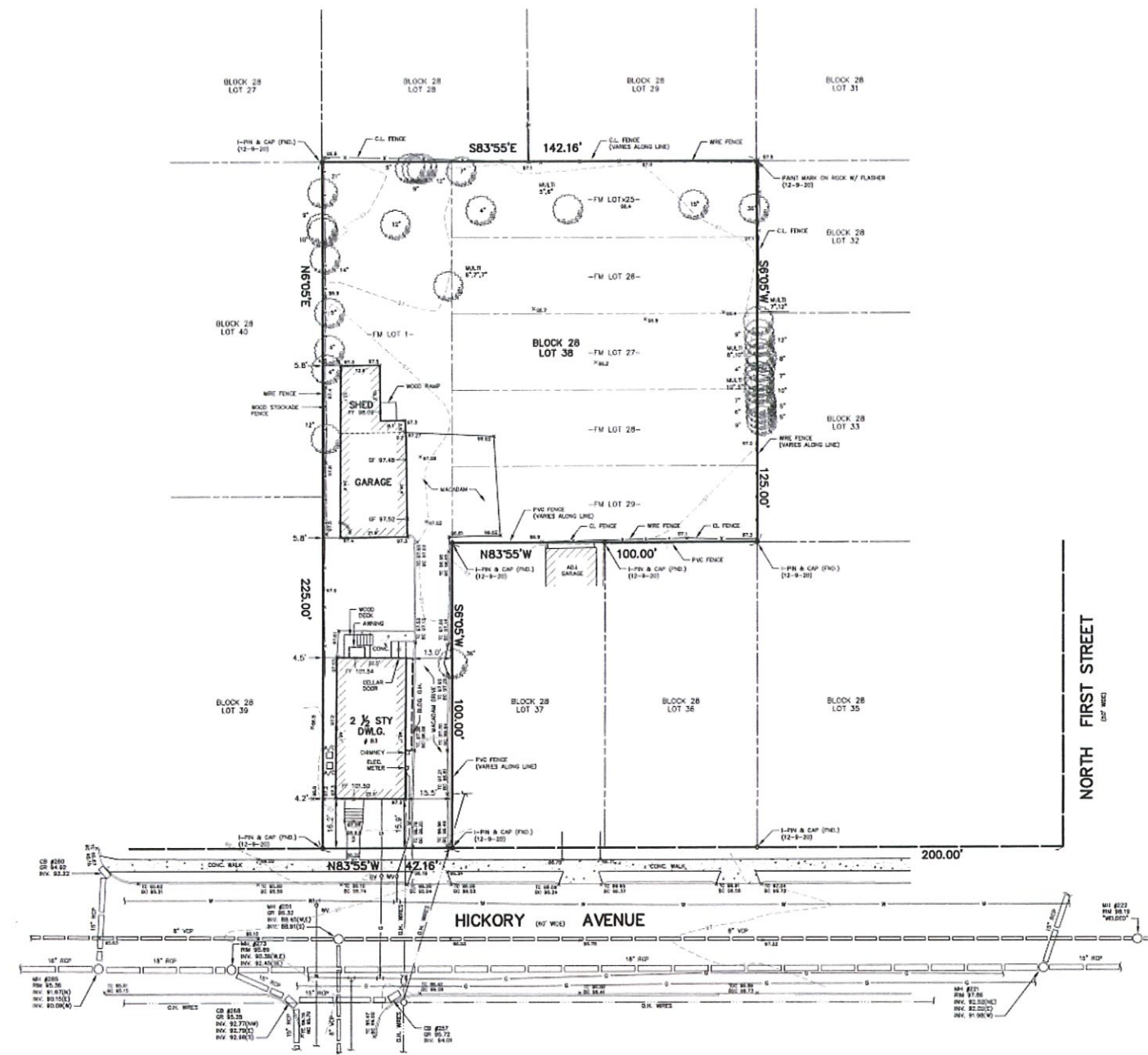
CR RESTORATION

83 HICKORY AVENUE
BLOCK 28 LOT 38
BERGENFIELD BERGEN COUNTY NEW JERSEY
LAPATKA ASSOCIATES, INC.
12 ROUTE 17 NORTH, SUITE 200
PARAMUS, N.J. 07652 (OFFICE)
(201) 261-1600
ENGINEERS - LANDSCAPE ARCHITECTS - SURVEYORS

ALEXANDER J. LAPATKA JEFFREY H. KLEINE
P.E. 28218 L.S. 35848
PROFESSIONAL ENGINEER PROFESSIONAL LAND SURVEYOR
DRAWN CHECKED SCALE DATE SHEET NO. PROJECT NO.

APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF BERGENFIELD
DATE
CHAIRMAN
SECRETARY
ARCHITECT

1) SURVEY INFORMATION SHOWN HEREON, TAKEN FROM A CERTAIN MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, C.R. RESTORATION, 833 HICKORY AVENUE, BLOCK 28, LOT 38, BERGENFIELD, BERGEN COUNTY, NEW JERSEY", AS PREPARED BY LAPATKA ASSOCIATES, INC. DATED 12-9-20.
 2) ELEVATIONS SHOWN IN NAD 1988 DATUM.



DATE	REVISION	BY

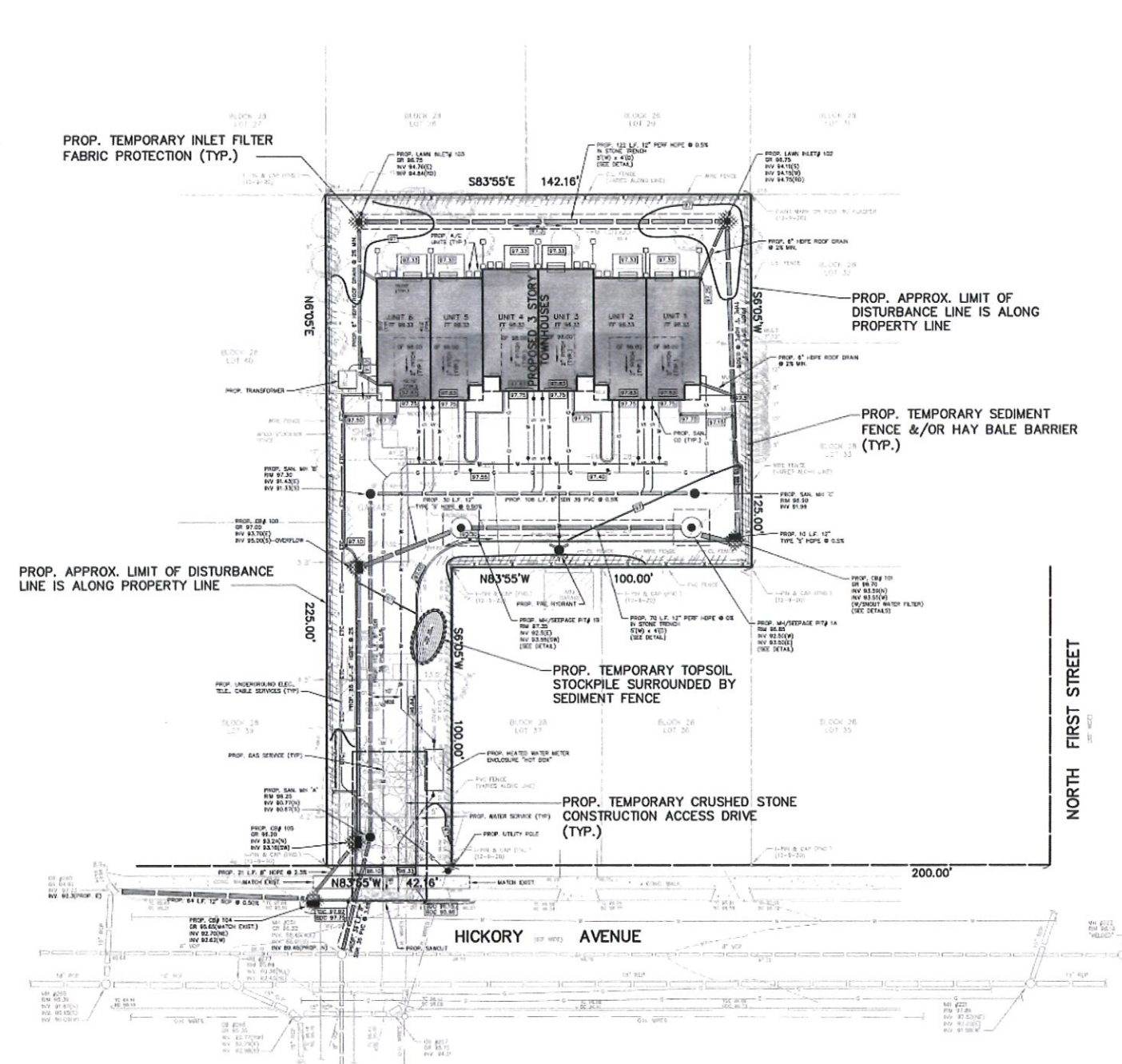


EXISTING CONDITIONS
CR RESTORATION
 833 HICKORY AVENUE
 BLOCK 28 LOT 38
 BERGENFIELD BERGEN COUNTY NEW JERSEY
LAPATKA ASSOCIATES, INC.
 12 ROUTE 17 NORTH, SUITE 230
 PARAMUS, N.J. 07652
 (201) 261-1600
 ENGINEERS - LANDSCAPE ARCHITECTS - SURVEYORS

ALEXANDER J. LAPATKA **JEFFREY H. KLEINE**
 P.E. 28218 L.S. 35848
 PROFESSIONAL ENGINEER PROFESSIONAL LAND SURVEYOR

DRAWN: O-SOKED SCALE: DATE: SHEET No.: PROJECT No.:

BOUNDARY & TOPOGRAPHIC SURVEY, C.R. RESTORATION, 83 HICKORY AVENUE, BLOCK 28, LOT 38, BERGENFIELD, BERGEN COUNTY, NEW JERSEY, AS PREPARED BY LAPATKA ASSOCIATES, INC. DATED 12-9-20.
 3) ELEVATIONS SHOWN IN NAVD 1988 DATUM

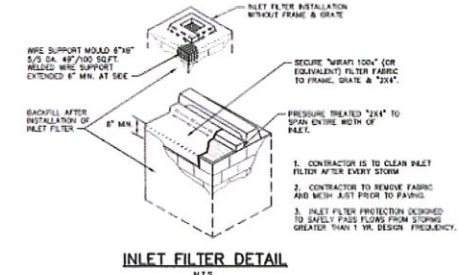


1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS) AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH UNROTTED STRAW AT A RATE OF 2 TONS PER ACRE AND ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH ON A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
4. STABILIZATION SPECIFICATIONS:
 - A. TEMPORARY SEEDING AND MULCHING:
 - GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - FERTILIZER - APPLY 115LBS/1,000 SF OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED - PERENNIAL KYRGRASS 100 LBS./ACRE (2.3 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - B. PERMANENT SEEDING AND MULCHING:
 - TOPSOIL - A UNIFORM APPLICATION TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE IS REQUIRED.
 - GROUND LIMESTONE - APPLIED UNIFORMLY ACCORDING TO SOIL TEST RECOMMENDATIONS.
 - FERTILIZER - APPLY 115LBS./1,000 SF OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN (UNLESS A SOIL TEST INDICATES OTHERWISE) WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED - TURF TYPE TALL FESCUE (BLIND OF 3 CULTIVARS) 350 LBS./ACRE (8 LBS./1,000 SF) OR OTHER APPROVED SEED; PLANT BETWEEN MARCH 1 AND OCTOBER 1. (SUMMER SEEDING REQUIRES IRRIGATION).
 - MULCH - UNROTTED STRAW OR HAY AT A RATE OF 70 TO 90 LBS./1,000 SF APPLIED TO ACHIEVE 95% SOIL SURFACE COVERAGE. MULCH SHALL BE ANCHORED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUN-OFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOORPLAN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
8. A CRUSHED STONE, VEHICLE WASH-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1"-2" 1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30'X100' AND SHOULD BE UNDERLAIN BY A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
10. DRIVEWAYS MUST BE STABILIZED WITH 1"-2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 28-1 OF THE NJ STANDARDS.
13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BASIN OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-4 OF THE NJ STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
18. ANY REVISION TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO IMPLEMENTATION IN THE FIELD.
19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE THROUGHOUT CONSTRUCTION.
20. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MUST BE NOTIFIED, IN WRITING, AT LEAST 48 HOURS PRIOR TO ANY LAND DISTURBANCE. BERGEN COUNTY SOIL, 700 KINDERKAMACK ROAD, SUITE 106 ORADELL, NJ 07649 TEL: 201-261-4407, FAX 201-261-7973.
21. THE BERGEN COUNTY SOIL CONSERVATION DISTRICT MAY REQUEST ADDITIONAL MEASURES TO MINIMIZE ON OR OFF-SITE EROSION PROBLEMS DURING CONSTRUCTION.
22. THE OWNER MUST OBTAIN A DISTRICT ISSUED REPORT OF COMPLIANCE PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY. THE DISTRICT REQUIRES AT LEAST ONE WEEK'S NOTICE TO FACILITATE THE SCHEDULING OF ALL REPORTS OF COMPLIANCE INSPECTIONS. ALL SITE WORK MUST BE COMPLETED, INCLUDING TEMPORARY/PERMANENT STABILIZATION OF ALL EXPOSED AREAS, PRIOR TO THE ISSUANCE OF A REPORT OF COMPLIANCE BY THE DISTRICT.

THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS LOCATED IN AN URBAN REDEVELOPMENT AREA.

CONSTRUCTION SEQUENCE:

1. INSTALL HAY BALE BARRIER AND/OR SEDIMENT FENCE.
2. INSTALL CONSTRUCTION ACCESS DRIVE.
3. CLEAR LAND IN AREA OF CONSTRUCTION.
4. STORM TOPSOIL IN AREA OF CONSTRUCTION, STOCKPILE AND STABILIZE.
5. REMOVE/DEMOLISH EXISTING BUILDING.
6. EXCAVATE FOR AND CONSTRUCT FOUNDATION AND BUILDING.
7. INSTALL UTILITY CONNECTIONS AND SEWAGE PIPES PROTECT INLETS AS PER DETAIL.
8. GRADE SITE TO ELEVATIONS SPECIFIED ON SITE PLAN.
9. CONSTRUCT / INSTALL WALKS, RAMPS, PADS, ETC. AS SPECIFIED ON SITE PLAN.
10. CONSTRUCT PARKING LOT.
11. INSTALL LANDSCAPING, LAWN AREAS, ETC. UNIFORMLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM 4" FIRMED IN PLACE, SEED AND STABILIZE ALL DISTURBED AREAS WHICH ARE NOT FOREDOSED FOR LAWN OR LANDSCAPING.
12. UPON COMPLETION OF ALL CONSTRUCTION AND STABILIZATION, REMOVE EROSION CONTROL DEVICES.



STANDARD FOR STORM SEWER INLET PROTECTION
(SEE "INLET FILTER DETAIL")

DEFINITION:
 A TEMPORARY BARRIER AND SETTLING FACILITY INSTALLED AT A STORM SEWER INLET.

PURPOSE:
 THE PURPOSE OF STORM SEWER INLET PROTECTION IS TO INTERCEPT AND RETAIN SEDIMENT, THUS PREVENTING THE ENTRANCE OF SEDIMENT INTO THE STORM SEWER SYSTEM.

CONSTRUCTION BEST PRACTICE RULES:

1. CONSTRUCTION DRAINAGE SHALL BE 15 FEET OR LESS.
2. A STORM SEWER ON THE OUTLET CHANNEL OF A STORM SEWER SHALL BE PROTECTED FROM SEDIMENTATION BY THE INSTALLATION OF A PROTECTION DEVICE AT THE STORM SEWER INLET PROTECTION.
3. THE PROTECTION DEVICE SHALL BE DESIGNED TO CAPTURE OR FILTER SEDIMENT FROM THE 3-HOUR STORM EVENT AND SHALL SAFELY CONVEY FLOOD FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.
4. A TRAFFIC HAZARD WILL NOT BE CREATED.
5. A FLOODING PROBLEM WILL NOT BE CREATED.

WATER QUALITY CONSIDERATIONS:
 THE PRIMARY BENEFIT TO WATER QUALITY IS THE REDUCTION OF SEDIMENT FROM STORM WATER RUNOFF PRIOR TO ENTERING THE STORM SEWER SYSTEM. AS AN ADDED BENEFIT, OTHER FLIGHTABLE SEDIMENTS, SUCH AS NUTRIENT MATTER AND LITTER MAY ALSO BE FILTERED OUT OF THE RUNOFF.

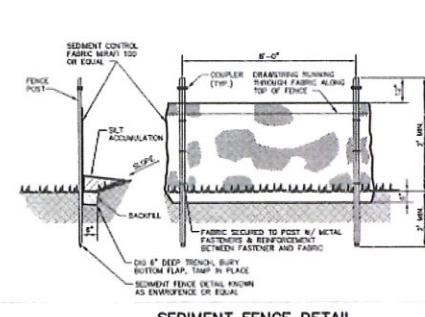
DESIGN CRITERIA:
 THE FOLLOWING APPLIES TO ALL METHODS OF STORM SEWER INLET PROTECTION.

1. MUST SLOW THE STORM WATER, PROVIDE THE COARSE SEDIMENT PARTICLES A CHANCE TO SETTLE, AND PROVIDE AN AREA TO RETAIN THE PARTICLES THAT HAVE SETTLED.
2. IN ALL CASES, INLET PROTECTION SHOULD NOT COMPLETELY CLOSE OFF THE INLET.
3. THE PROTECTION DEVICE SHALL BE DESIGNED TO CAPTURE OR FILTER SEDIMENT FROM THE 3-HOUR STORM EVENT AND SHALL SAFELY CONVEY FLOOD FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

OTHER METHODS THAT ACCOMPLISH THE PURPOSE OF STORM SEWER INLET PROTECTION MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.

IMPROVEMENTS SHALL BE PROVIDED MAINTENANCE, REPAIR, AND REPLACEMENT SHALL BE MADE PROMPTLY. AS NEEDED, THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARD THE INLET HAS BEEN STABILIZED.

CONSTRUCTION ACCESS DRIVE SECTION
N.T.S.



3-23-21	REVISED LAYOUT	PL
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DATE	REVISION	BY



GRADING/DRAINAGE/UTILITY/EROSION CONTROL PLAN/DETAILS

CR RESTORATION
 83 HICKORY AVENUE

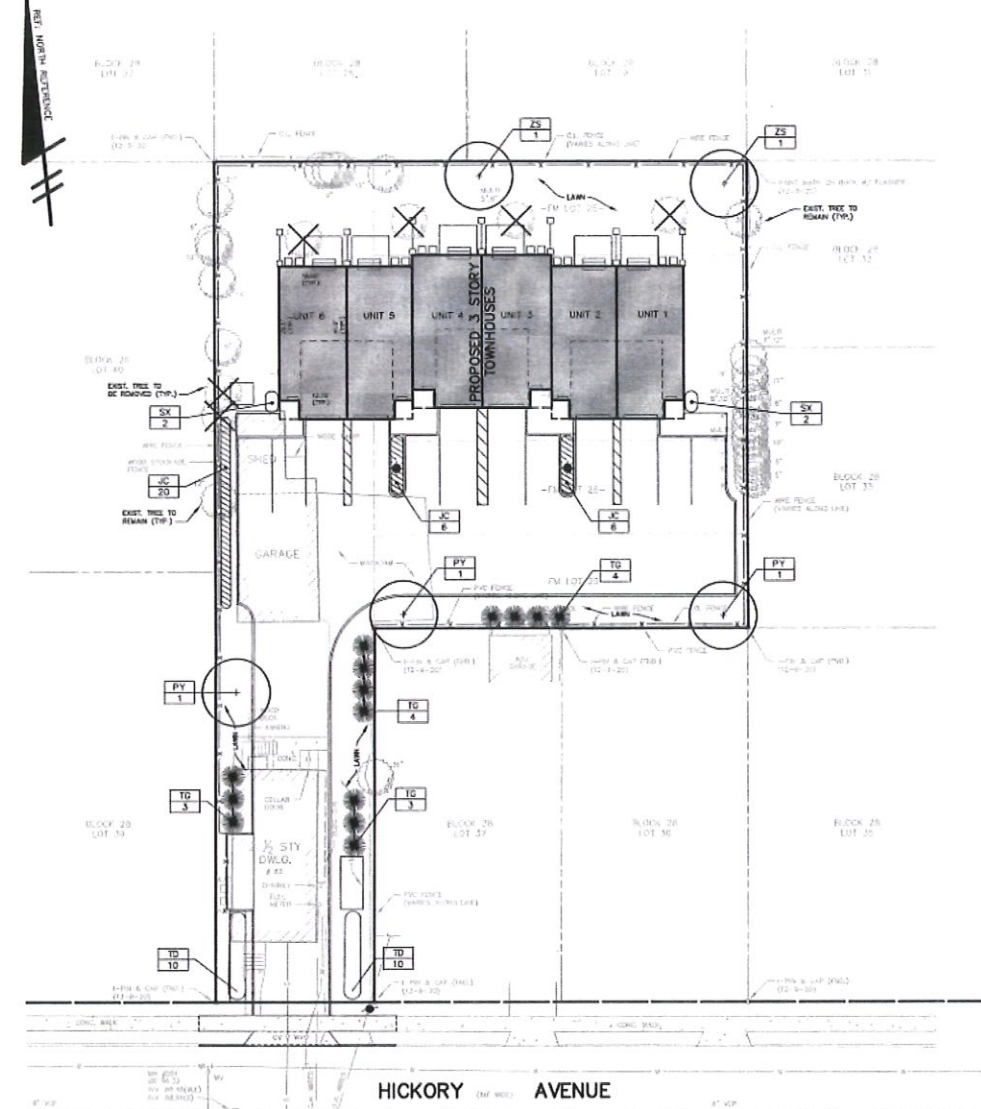
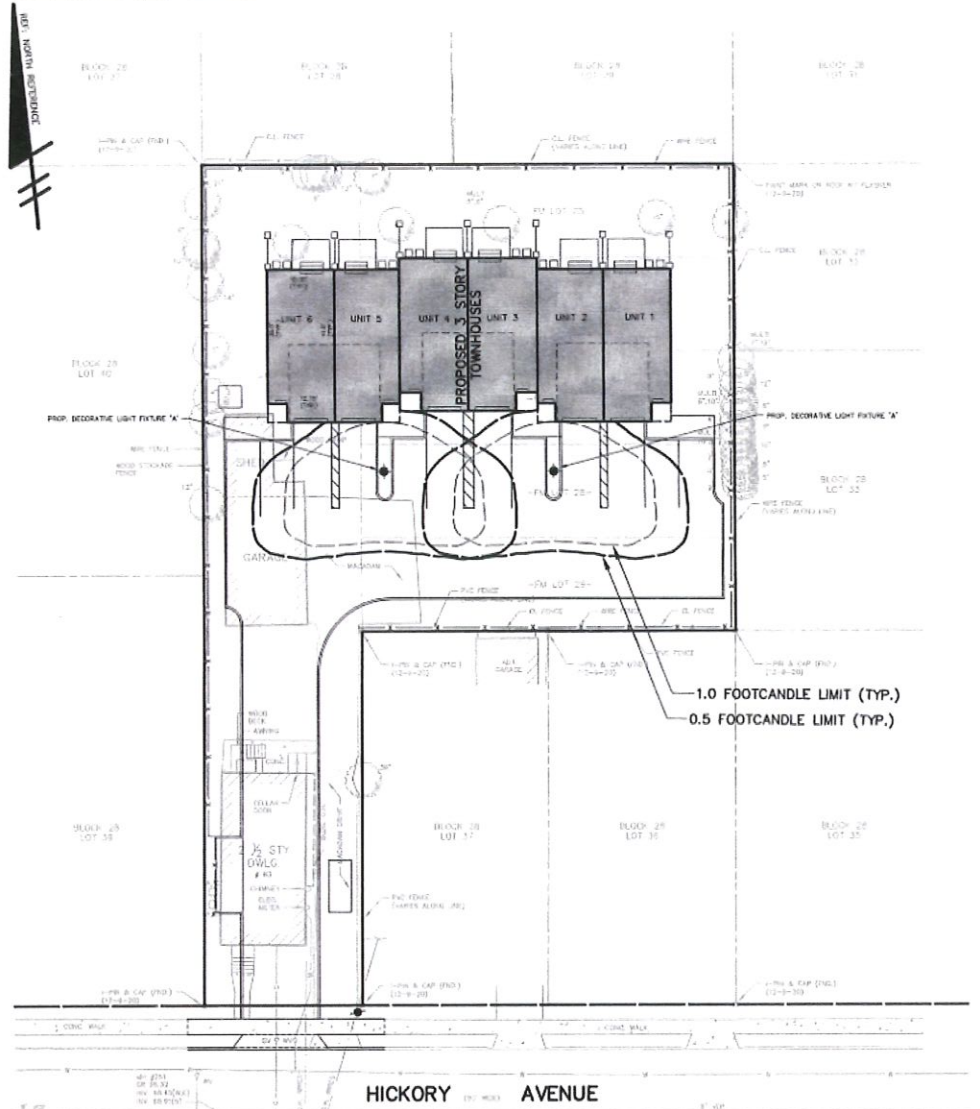
BERGENFIELD BERGEN COUNTY NEW JERSEY

LAPATKA ASSOCIATES, INC.
 12 ROUTE 17 NORTH, SUITE 230 (EAST OF ROUTE 1)
 PARAMUS, N.J. 07652
 (201) 261-1600

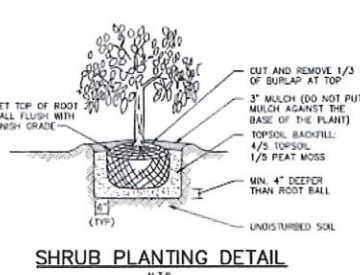
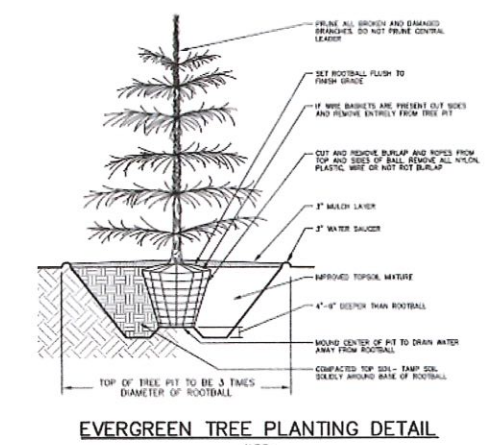
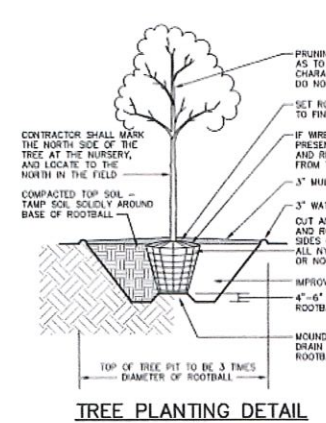
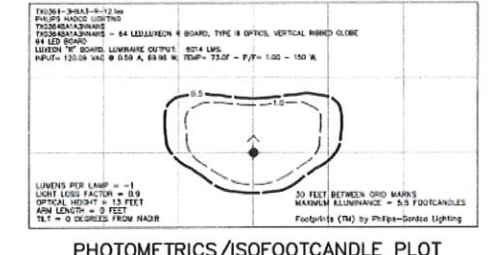
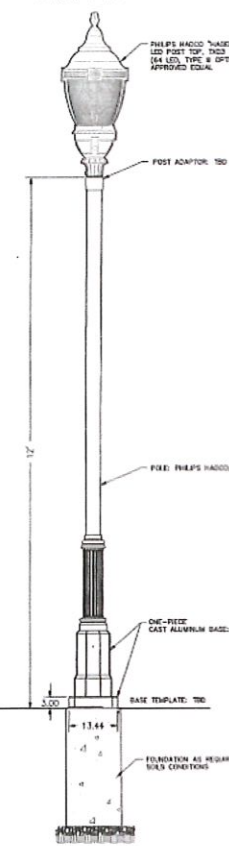
ENGINEERS - LANDSCAPE ARCHITECTS - SURVEYORS

ALEXANDER J. LAPATKA JEFFREY H. KLEINE
 P.E. 28218 L.S. 35848
 PROFESSIONAL ENGINEER PROFESSIONAL LAND SURVEYOR

DRAWN [] CHECKED [] SCALE [] DATE [] SHEET No. [] PROJECT No. []



LIGHTING PLAN
SCALE: 1"=20'



PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	ROOT	REMARKS
JC	JUNIPERUS CHINENSIS 'PAISONII'	PAISON JUNIPER	32	18"-24"	No. 3 con	DENSE BRANCHING / FOLIAGE
PY	PRUNUS YEDONENSIS	YEDON CHERRY	3	22"-2 1/2" cal.	B & B	MULTI-TRUNK / LOW BRANCHING FORM
SX	SPIREA X BUNALDA 'GOLDFLAME'	GOLD FLAME SPIREA	4	24"-30"	No. 3 con	DENSE FOLIAGE, UNIFORM COLOR
TD	TAXUS MEDIA 'DENSIFORMIS'	DENSE YEW	20	24"-30"	B & B	DENSE BRANCHING/FOLIAGE
TG	TRICHIA 'STANDISH' x 'PULCATA' GREEN GIANT	GREEN GIANT ARBORESCENT	14	7"-8"	B & B	DENSE FOLIAGE
ZS	ZELKOYA SERRATA GREEN VASE	GREEN VASE ZELKOYA	2	2 1/2"-3" cal.	B & B	UNIFORM BRANCHING

- ALL EXISTING VEGETATION TO REMAIN TO BE LIMBED UP/PRIPPED BACK AS NEEDED TO REMOVE ANY DEAD, DAMAGED, DISEASED, D'WING, OR HAZARDOUS LIMBS.
- EVERY EFFORT TO BE MADE BY THE CONTRACTOR TO PREVENT/MINIMIZE COMPACTION OF SOIL IMMEDIATELY OVER THE TREE'S ROOT SYSTEM WITHIN THE DRIP LINE.
- IF ROOT DAMAGE OCCURS TO AN EXISTING PLANT THAT IS TO REMAIN, THE CROWN OF THE TREE IS TO BE REDUCED THRU SELECTIVE PRUNING DONE IN A MANNER TO MAINTAIN THE NATURAL CHARACTER OF THE PLANT PROPORTIONAL TO THE AMOUNT/DEGREE/PERCENTAGE OF ROOT LOSS.
- ALL STAMPS AND OTHER TREE PARTS, LITTER, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. NO TREE STAMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE IN THE DEVELOPMENT. ALL DEAD OR DYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE.
- PRIOR TO ANY EXCAVATION FOR THE INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY TOPSOILING OR PLANTING IS BEGUN TO ENSURE ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE LANDSCAPED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY FOR CORRECTIVE ACTION. ANY PLANT MATERIAL THAT DIES DUE TO POOR OR INADEQUATE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST THE (5) INCHES OF COVER TO ALL AREAS OF THE DEVELOPMENT AND SHALL BE STABILIZED BY SEEDING, SOODING, OR PLANTING.
- ALL LANDSCAPED PARKING AREA ISLANDS AND PARKING/ANGLE END PLANTERS TO CONTAIN A TOPSOIL BERM AS DELINEATED ON THE DETAIL.
- TOPSOIL SHALL BE IN A NATURAL, FIBRILE TOPSOIL, REPRESENTATIVE OF PRODUCTIVE SOILS IN THE COUNTY. IT SHALL BE OBTAINED FROM WELL-DRAINED AREAS, FREE OF SUBSOIL, FOREIGN MATTER, TOXIC SUBSTANCES AND ANY HARMFUL MATERIAL.
- BACKFILL MATERIAL FOR BACKFILLING AROUND TREE/SHRUB BALLS SHALL BE A MIXTURE BY VOLUME OF THE FOLLOWING MATERIALS IN QUANTITIES SPECIFIED: 1/3 PEAT MOSS, 4/5 TOPSOIL, ADD 15 LBS. OF 20-10-5 FERTILIZER PER CUBIC YARD OF BACKFILL. (BACKFILL MATERIAL BY ANALYSIS SHALL HAVE AT LEAST 15% ORGANIC MATTER)
- ALL PLANT MATERIAL THAT IS TO BE INSTALLED TO BE IN FULL COMPLIANCE WITH THE SPECIFICATIONS CITED IN THE "PLANT LIST". ANY DEVIATION/SUBSTITUTION FROM THE PLANT LIST TO BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO THE PURCHASE OF THE MATERIAL.
- ALL LANDSCAPE MATERIALS TO BE OF NURSERY STOCK AND FREE OF INSECTS AND DISEASE.
- ALL TREES, SHRUBS, AND GROUND COVERS TO COMPLY WITH THE REQUIREMENTS OF ANSI Z601 "AMERICAN STANDARDS FOR NURSERY STOCK" AND AS FURTHER SPECIFIED.
- ALL TREES TO BE STRAIGHT TRUNKED WITH LEADER(S) INTACT.
- ALL SHADE AND FLOWERING TREES IMMEDIATELY ADJACENT TO DRIVES AND PARKING AREAS SHALL BE LIMBED UP TO A HEIGHT OF SIX (6) FEET FROM THE TOP OF THE ROOT BALL.
- ALL LANDSCAPE BEDS, PLANTED AREAS, AND TREE SAUCERS TO CONTAIN 3" SHREDDED CEDAR BARK MULCH.
- PLANTING BEDS RECEIVING MULCH SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
- ALL LAWN AREAS TO BE SEEDED.
- PRIOR TO SEEDING, ALL VEGETATION WHICH MIGHT INTERFERE SHALL BE MOWED, GRUBBED, RAKED AND THE DEBRIS REMOVED FROM THE SITE. SEED BEDS SHALL BE THOROUGHLY TILLED TO A DEPTH OF AT LEAST SIX (6) INCHES.
- PLANT ROOT BALLS AND CONTAINERS TO BE KEPT MOIST AND PROTECTED FROM DAMAGE PRIOR TO INSTALLATION.
- LANDSCAPE TO BE MAINTAINED TO MEET OR EXCEED CURRENT MUNICIPAL MAINTENANCE CODES AND ORDINANCES.

3-23-21	REVISED LAYOUT	PL
1-23-21	REVISED PER BERGENFIELD SITE PLAN COMMITTEE	PL
DATE	REVISION	BY

LANDSCAPE & LIGHTING PLAN/DETAILS

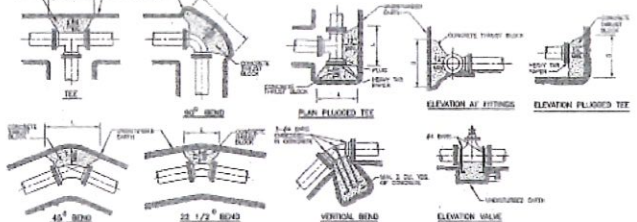
CR RESTORATION
#83 HICKORY AVENUE

BLOCK 28 LOT 38
BERGENFIELD BERGEN COUNTY NEW JERSEY

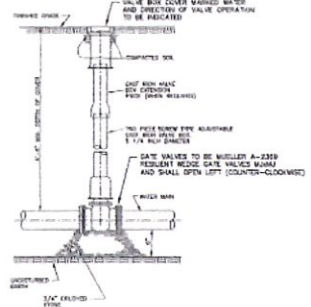
LAPATKA ASSOCIATES, INC.
12 ROUTE 17 NORTH, SUITE 230
PARAMUS, N.J. 07652
(201) 261-1600

END USERS - LANDSCAPE ARCHITECTS - SURVEYORS

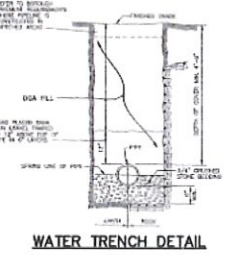
ALEXANDER J. LAPATKA P.E. 28218
JEFFREY H. KLEINE L.S. 35848
PROFESSIONAL ENGINEER PROFESSIONAL LAND SURVEYOR



THRUSTR BLOCK DETAILS
N.T.S.



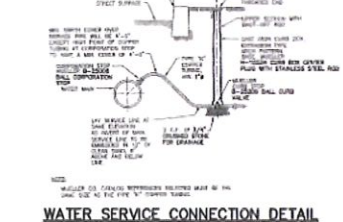
GATE VALVE & BOX DETAIL
N.T.S.



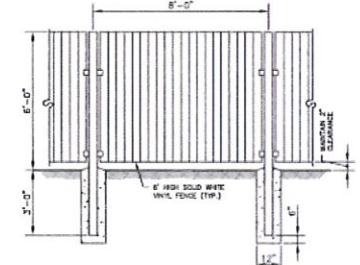
WATER TRENCH DETAIL
N.T.S.

NO PARKING
PRIVATE PROPERTY
UNAUTHORIZED VEHICLES WILL BE TOWED

"NO PARKING"
"PRIVATE PROPERTY"
SIGN DETAIL
N.T.S.



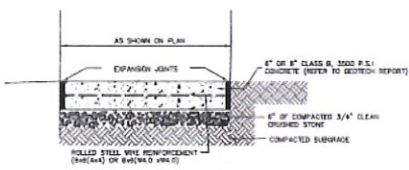
WATER SERVICE CONNECTION DETAIL
N.T.S.



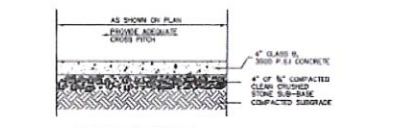
6' HIGH SOLID WHITE VINYL FENCE DETAIL
N.T.S.



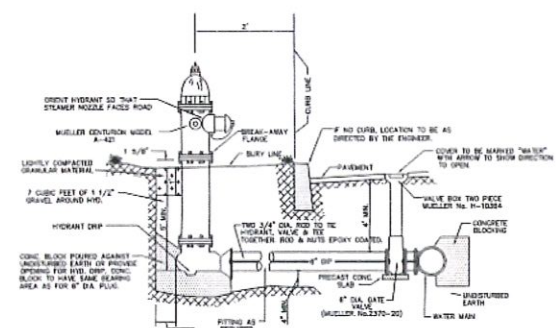
STOP SIGN DETAIL
N.T.S.



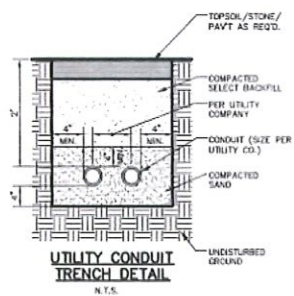
CONCRETE PAD DETAIL
N.T.S.



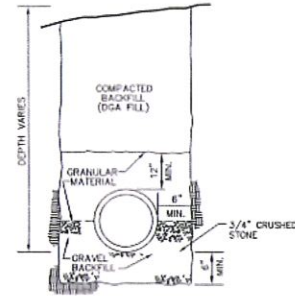
SIDEWALK DETAIL
N.T.S.



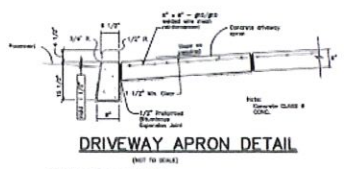
HYDRANT DETAIL
N.T.S.



UTILITY CONDUIT TRENCH DETAIL
N.T.S.

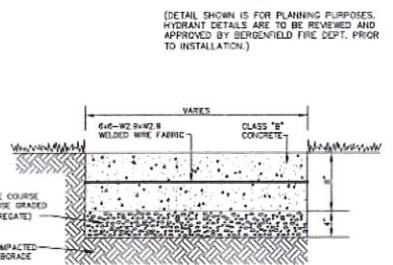


SANITARY SEWER TRENCH DETAIL
N.T.S.

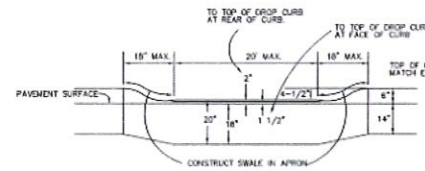


DRIVEWAY APRON DETAIL
N.T.S.

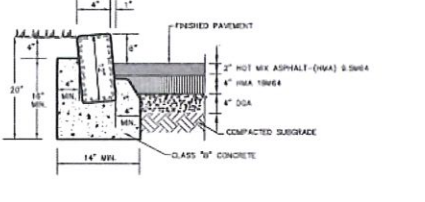
1. A BRUSH FRESH IS REQUIRED.
2. STRAIGHT 2" EXPANSION JOINTS SHALL BE PROVIDED IN WALK SLAB.
3. WALK SLABS SHALL BE EQUAL TO THREE TIMES THE WIDTH OF THE WALK.
4. THE JOINT (2" HIGH EXPANSION JOINT OR FIBERGLASS EXPANSION JOINTS SHALL BE PROVIDED EVERY 10 FEET.
5. FORMS SHALL BE OF 2" MATERIAL, RIGID, AND PROPERLY GRADED.
6. SEVERAL REMOVAL SHALL BE TO THE NEAREST EXPANSION JOINT NO PATCHING AND/OR CHIPPING SHALL BE PERMITTED.
7. A CLEAR LIQUID CURING COMPOUND SHALL BE USED IMMEDIATELY AFTER FINAL FINISHING. CONCRETE SHALL BE PROTECTED FROM THE WEATHER AT ALL TIMES.



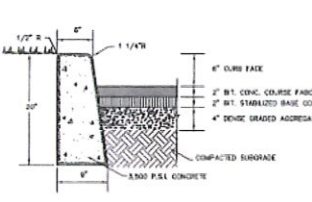
TRANSFORMER PAD DETAIL
N.T.S.



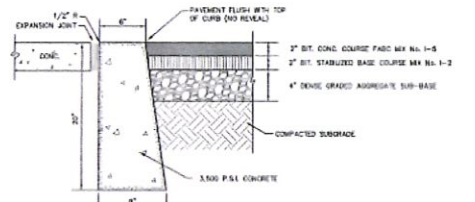
DEPRESSED CURB DETAIL
N.T.S.



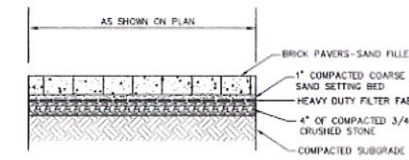
GRANITE BLOCK & PAVEMENT DETAIL
N.T.S.



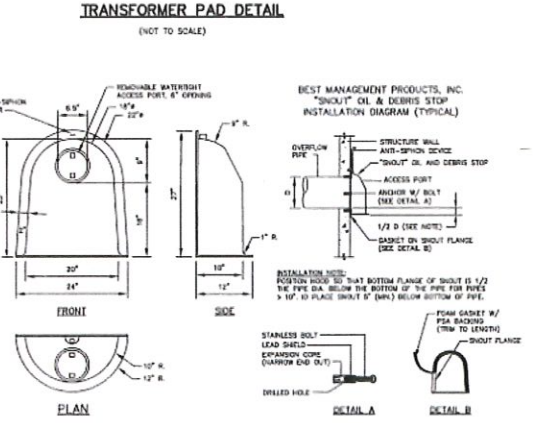
CURB & PAVEMENT DETAIL
N.T.S.



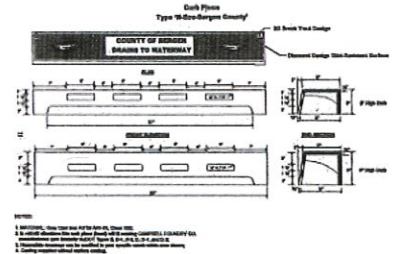
FLUSH CURB DETAIL
N.T.S.



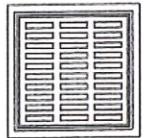
BRICK PAVER PATIO DETAIL
N.T.S.



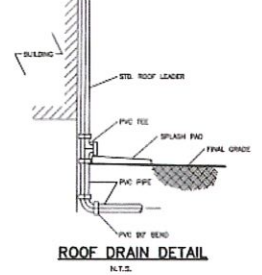
"SNOUT" OIL-WATER-DEBRIS SEPARATOR DETAIL
N.T.S.



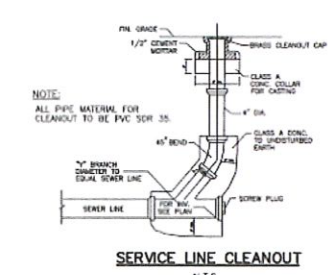
CATCH BASIN HEAD & GRATE DETAIL
N.T.S.



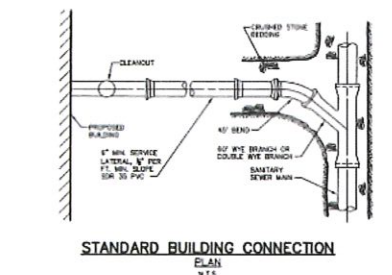
LAWN INLET GRATE DETAIL
N.T.S.



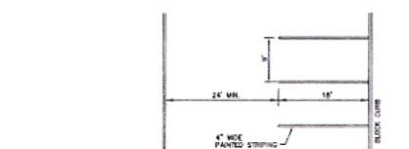
ROOF DRAIN DETAIL
N.T.S.



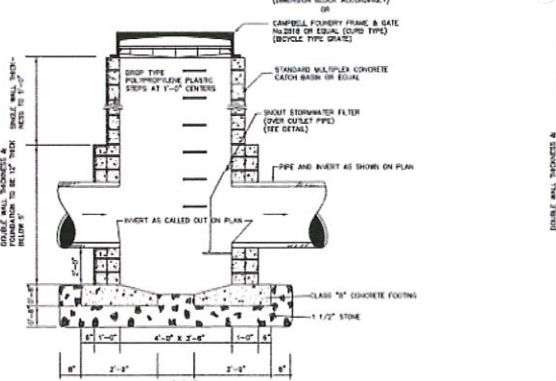
SERVICE LINE CLEANOUT
N.T.S.



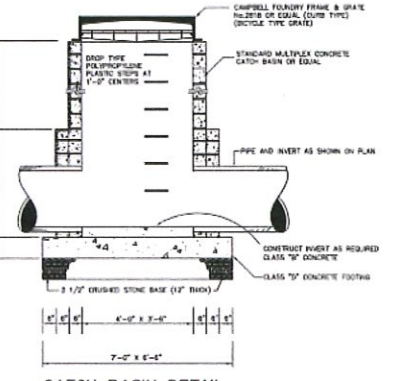
STANDARD BUILDING CONNECTION
N.T.S.



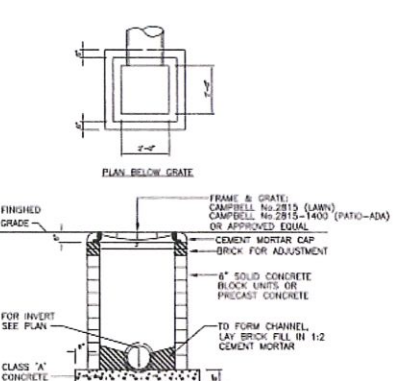
PARKING STALL STRIPING PLAN AND AISLE DETAIL
N.T.S.



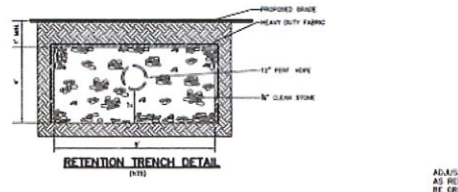
CATCH BASIN W/ SUMP DETAIL
N.T.S.



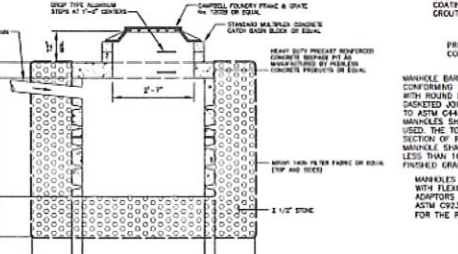
CATCH BASIN DETAIL
N.T.S.



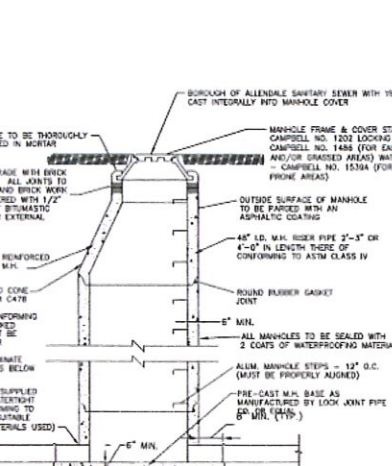
DRAINAGE INLET DETAIL
N.T.S.



RETENTION TRENCH DETAIL
N.T.S.



SEEPAGE PIT DETAIL
N.T.S.



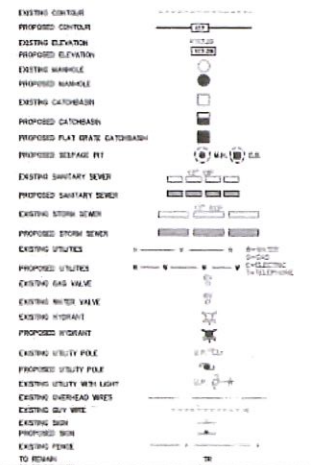
SANITARY MANHOLE
N.T.S.

1-20-21	REVISED PER BERGENFIELD SITE PLAN COMMITTEE	PL
DATE	REVISION	BY
DETAILS		
CR RESTORATION		
863 HICKORY AVENUE		
BERGENFIELD	BLOCK 26	LOT 38 NEW JERSEY
LAPATKA ASSOCIATES, INC.		
12 ROUTE 17 NORTH, SUITE 230		
PARAMUS, N.J. 07652		
(201) 261-1600		
(CERT. OF AUTH.)		
ENGINEERS - LANDSCAPE ARCHITECTS - SURVEYORS		
ALEXANDER J. LAPATKA		
P.E. 28218		
JEFFREY H. KLEINE		
L.S. 35848		
PROFESSIONAL LAND SURVEYOR		
DRAWN	CHECKED	SCALE
DATE	DATE	DATE
SHEET NO.	SHEET NO.	SHEET NO.
PROJECT NO.	PROJECT NO.	PROJECT NO.
LOT 400	LOT 400	LOT 400

PROPERTY OWNERS WITHIN 200'

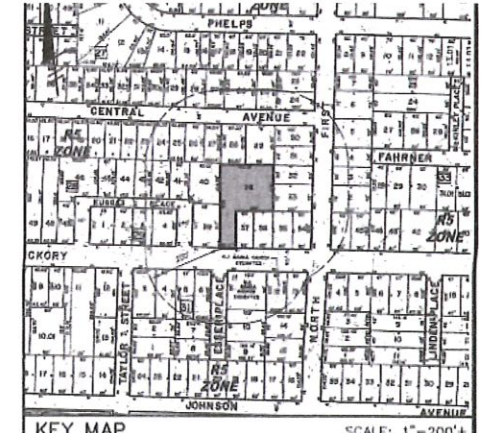
Map No. 23.	23.	Owner: STEVES, JOSEPH	Prop. Loc: 60 E CENTRAL AVENUE
Property Class: 2		Owner Address: 59 E CENTRAL AVE	BERGENFIELD, NJ 07021
Map No. 23.	24.	Owner: FRANCELLO, RICHARD & YVONNE	Prop. Loc: 62 E CENTRAL AVENUE
Property Class: 2		Owner Address: 51 EAST CENTRAL AVE	BERGENFIELD, NJ 07021
Map No. 23.	25.	Owner: AERTLAND, ANDREW & SANTA MARIA	Prop. Loc: 64 E CENTRAL AVENUE
Property Class: 2		Owner Address: 54 E CENTRAL AVENUE	BERGENFIELD, NJ 07021
Map No. 24.	26.	Owner: STONWELL, CHRISTOPHER & YVONNE	Prop. Loc: 66 E CENTRAL AVENUE
Property Class: 2		Owner Address: 53 CEDAR COURT	CLIFTON, NJ 07014
Map No. 24.	27.	Owner: CASARIS, TOMAS	Prop. Loc: 68 E CENTRAL AVENUE
Property Class: 1		Owner Address: 64 E CENTRAL AVE	BERGENFIELD, NJ 07021
Map No. 24.	28.	Owner: THOMA, JAMES & SALLY, BRONX	Prop. Loc: 80 E CENTRAL AVENUE
Property Class: 2		Owner Address: 50 E CENTRAL AVENUE	BERGENFIELD, NJ 07021
Map No. 24.	29.	Owner: MERTZ, THOMAS & CHARLIE	Prop. Loc: 154 N FIRST STREET
Property Class: 2		Owner Address: 254 N FIRST STREET	BERGENFIELD, NJ 07021
Map No. 24.	30.	Owner: TILSON, SARAHMATH & DANIELLE	Prop. Loc: 150 N FIRST STREET
Property Class: 2		Owner Address: 150 N FIRST ST	BERGENFIELD, NJ 07021
Map No. 24.	31.	Owner: WELLS, GERALD & PATRICIA A	Prop. Loc: 146 N FIRST STREET
Property Class: 2		Owner Address: 146 N FIRST STREET	BERGENFIELD, NJ 07021
Map No. 24.	32.	Owner: SIRTANO, CLAUDIA	Prop. Loc: 144 N FIRST STREET
Property Class: 2		Owner Address: 144 N FIRST STREET	BERGENFIELD, NJ 07021
Map No. 24.	34.	Owner: IRILL, SPIROBOR & BRACA	Prop. Loc: 91 HICKORY AVENUE
Property Class: 2		Owner Address: 91 HICKORY AVENUE	BERGENFIELD, NJ 07021
Map No. 24.	35.	Owner: CIVILEGGIAN, ANNE	Prop. Loc: 95 HICKORY AVENUE
Property Class: 2		Owner Address: 95 HICKORY AVENUE	BERGENFIELD, NJ 07021
Map No. 24.	36.	Owner: RAHBI, SAID EL	Prop. Loc: 96 HICKORY AVENUE
Property Class: 2		Owner Address: 96 HICKORY AVENUE	BERGENFIELD, NJ 07021
Map No. 24.	37.	Owner: URSICOLA, ENRIQUE & CRYSTINA E	Prop. Loc: 87 HICKORY AVENUE
Property Class: 2		Owner Address: 87 HICKORY AVE	BERGENFIELD, NJ 07021
Map No. 24.	38.	Owner: DE SHOOTERS LLC	Prop. Loc: 83 HICKORY AVENUE
Property Class: 2		Owner Address: 77 BLANCK AVE	BERGENFIELD, NJ 07021
Map No. 24.	39.	Owner: BARKET, DOUGLAS M & ELISA W	Prop. Loc: 73 HICKORY AVENUE
Property Class: 2		Owner Address: 34 WILLOWS ST APT 2	CLIFTON, NJ 07015
Map No. 24.	40.	Owner: REEDMAN, MARGARET & ROYAL G	Prop. Loc: 71 HICKORY PLACE
Property Class: 2		Owner Address: 71 HICKORY PLACE	BERGENFIELD, NJ 07021
Map No. 24.	41.	Owner: ROBERTS, ALFRED H, JR	Prop. Loc: 69 HICKORY PLACE
Property Class: 2		Owner Address: 69 HICKORY PLACE	BERGENFIELD, NJ 07021
Map No. 24.	42.	Owner: BORDO-LO, ANNA	Prop. Loc: 63 HICKORY PLACE
Property Class: 2		Owner Address: 63 HICKORY PLACE	BERGENFIELD, NJ 07021
Map No. 24.	43.	Owner: CRUZ, LINDA & RACINA ONG	Prop. Loc: 61 HICKORY PLACE
Property Class: 2		Owner Address: 61 HICKORY PL	BERGENFIELD, NJ 07021
Map No. 24.	44.	Owner: ARBOLD (TRC), ROSA LUCIA V	Prop. Loc: 61 HICKORY AVENUE
Property Class: 2		Owner Address: 61 HICKORY AVE	BERGENFIELD, NJ 07021
Map No. 24.	45.	Owner: WELLS, MARCELA & ROYAL	Prop. Loc: 65 HICKORY AVENUE
Property Class: 2		Owner Address: 65 HICKORY AVE	BERGENFIELD, NJ 07021
Map No. 27.	24.	Owner: KOSKUNZ, ORIEL & WILLY LOPEZ	Prop. Loc: 154 N FIRST STREET
Property Class: 2		Owner Address: 154 N FIRST ST	BERGENFIELD, NJ 07021
Map No. 27.	25.	Owner: ESPINO, ALFONSO & HELEN W	Prop. Loc: 81 E CENTRAL AVENUE
Property Class: 2		Owner Address: 81 E CENTRAL AVE	BERGENFIELD, NJ 07021
Map No. 27.	26.	Owner: ALONSO, SIBON	Prop. Loc: 75 E CENTRAL AVENUE
Property Class: 2		Owner Address: 75 E CENTRAL AVENUE	BERGENFIELD, NJ 07021
Map No. 27.	27.	Owner: VAN HORN, DANIEL & COUSO	Prop. Loc: 65 E CENTRAL AVENUE
Property Class: 2		Owner Address: 65 E CENTRAL AVENUE	BERGENFIELD, NJ 07021
Map No. 27.	28.	Owner: CANAL, JOHN & CAROL W.	Prop. Loc: 61 E CENTRAL AVENUE
Property Class: 2		Owner Address: 61 E CENTRAL AVE	BERGENFIELD, NJ 07021
Map No. 27.	29.	Owner: PATEL, TARA PRADYUMN PTA	Prop. Loc: 59 E CENTRAL AVENUE
Property Class: 2		Owner Address: 59 E CENTRAL AVENUE	BERGENFIELD, NJ 07021
Map No. 31.	1.	Owner: SIMS, HENRIETTA	Prop. Loc: 89 HICKORY AVENUE
Property Class: 2		Owner Address: 89 HICKORY AVE	BERGENFIELD, NJ 07021
Map No. 31.	4.	Owner: CALERA, RUTH & MARY	Prop. Loc: 76 HICKORY AVENUE
Property Class: 2		Owner Address: 76 HICKORY AVENUE	BERGENFIELD, NJ 07021
Map No. 31.	5.	Owner: PETERSON, DAVID & STORME	Prop. Loc: 80 HICKORY AVENUE
Property Class: 2		Owner Address: 80 HICKORY AVENUE	BERGENFIELD, NJ 07021
Map No. 31.	6.	Owner: COHEN, BERT & ROYAL	Prop. Loc: 82 HICKORY AVENUE
Property Class: 2		Owner Address: 82 HICKORY AVENUE	BERGENFIELD, NJ 07021
Map No. 31.	7.	Owner: HALEG, ANJALYN	Prop. Loc: 8 ESSER PLACE
Property Class: 2		Owner Address: 8 ESSER PLACE	BERGENFIELD, NJ 07021
Map No. 33.	1.	Owner: JAMESON, JOHN W	Prop. Loc: 104 HICKORY AVENUE
Property Class: 4A		Owner Address: 235 ELN STREET	CLIFTON, NJ 07015
Map No. 33.	2.	Owner: BENO, MARY & JOSE	Prop. Loc: 141 N FIRST STREET
Property Class: 2		Owner Address: 141 N FIRST STREET	BERGENFIELD, NJ 07021
Map No. 33.	3.	Owner: COPPIN, JOHN C	Prop. Loc: 147 N FIRST STREET
Property Class: 2		Owner Address: 147 N FIRST STREET	BERGENFIELD, NJ 07021
Map No. 33.	4.	Owner: CONNOR, GEORGE & MARIE	Prop. Loc: 151 N FIRST STREET
Property Class: 2		Owner Address: 151 N FIRST STREET	BERGENFIELD, NJ 07021
Map No. 33.	5.	Owner: GONZALEZ, CARLOS & ANGELA W	Prop. Loc: 155 N FIRST STREET
Property Class: 2		Owner Address: 155 N FIRST STREET	BERGENFIELD, NJ 07021
Map No. 33.	6.	Owner: KIM, JUNG SUN	Prop. Loc: 161 N FIRST STREET
Property Class: 2		Owner Address: 161 N FIRST ST	BERGENFIELD, NJ 07021
Map No. 33.	41.	Owner: JAMESON, JOHN	Prop. Loc: 106 HICKORY AVENUE
Property Class: 2		Owner Address: 210 ELN STREET	CLIFTON, NJ 07015

LEGEND



UNDER AUTHORITY OF REVISED STATE STATUTE 40:27-1, ET SEQ., THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT, DIVISION OF DEVELOPMENT REVIEW, ON BEHALF OF THE COUNTY PLANNING BOARD, COUNTY OF BERGEN, HAS RECEIVED THIS APPLICATION AND HAS DETERMINED THAT IT IS NOT SUBJECT TO COUNTY PLANNING BOARD APPROVAL.

ATTESTED TO BY: _____ DATE: _____



KEY MAP SCALE: 1"=200'

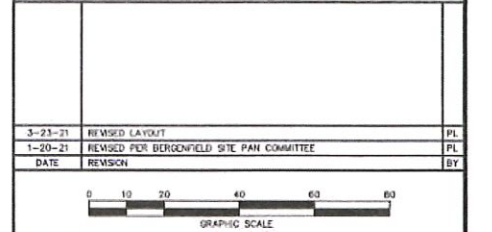
NOTES:
PROPERTY KNOWN AND DESIGNATED AS LOT 38 IN BLOCK 28 AS SHOWN ON THE CURRENT TAX MAP OF THE BOROUGH OF BERGENFIELD, SHEET NO. 3.

- OWNER: DR. INVESTORS LLC, 83 HICKORY AVENUE, BERGENFIELD, NJ 07021
- PROPERTY LOCATED IN THE "R1" (RESIDENTIAL ONE AND TWO FAMILY DWELLING) ZONE.
- ZONING DATA:

CRITERIA:	REQUIRED	PROPOSED
MIN. LOT AREA (SQ FT)	10,000 (C)	21,586
MIN. LOT WIDTH (FT)	100 (C)	42.16 (C)
MIN. IMPROVED LOT COVERAGE (%)	40	63.3 (C)
MIN. LOT COVERAGE (%)	30	35
MIN. BUILDING HEIGHT (FT./STORIES)	30/2	30/3 (C)
MIN. FRONT YARD (FT.)	25	55
MIN. SIDE YARD - EACH (FT.)	15 (C)	17
MIN. REAR YARD (FT.) - TOTAL (FT.)	30 (C)	34
MIN. REAR YARD (FT.)	25 (C)	25
MIN. PARKING SPACES (No.)	15 (C)	18 (C)
MAX. DRIVEWAY WIDTH (FT.)	17 (C)	20 (C)
MIN. DRIVEWAY SETBACK TO PROPERTY LINE (FT.)	2	3
MAX. CURB CUT (FT.)	20	28 (C)
ACCESSORY BUILDING (WATER METER ENCLOSURE)	15	±3 (C)
SIDE YARD SETBACK (FT.)	NOT PERMITTED	YES (C)
- (C) DENOTES EXISTING NON-CONFORMITY.
 - (V) DENOTES VARIANCE REQUIRED FOR THIS PROPOSAL.
 - (Z) ZONING REQUIREMENTS SHOWN FOR TWO FAMILY IN RS ZONE.
 - (M) MIN. PARKING SPACES REQ'D (RSS)
 - 6 TOWNHOUSE UNITS (3 BEDROOM) + 2.4 = 14.4 OR 15 SPACES
 - PROPOSED 6 GARAGE DRIVEWAY COMBOS + 6 ON STREET PARKING SPACES (6 + 2.0) + 6 = 18 SPACES
 - (L) LOT WIDTH EQUALS 42.16 AT FRONT SETBACK AND 142.16 IN AREA OF PROPOSED BUILDING.
 - (D) MAX. DRIVEWAY WIDTH EQUAL 19 FT. ON 40% OF LOT WIDTH (17')
 - (E) APPROPRIATE SETBACK TO WATER METER ENCLOSURE. SIZE OF METER ENCLOSURE TO BE DETERMINED BY WATER COMPANY.
 - (H) BUILDING HEIGHT TO ROOF LINE = 30 FT. (HEIGHT TO ARCHITECT ELEMENT 32.5 FT.)

- EXISTING IMPERVIOUS AREA (S.F.) = 4,802
PROPOSED IMPERVIOUS AREA (S.F.) = 13,800
PROPOSED INCREASE IN IMPERVIOUS AREA (S.F.) = 9,998
- LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE. PRIOR TO ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS. IF THERE ARE ANY CONFLICTS WITH THIS PLAN, THE ENGINEER / ARCHITECT SHALL BE ADVISED BEFORE COMMENCING CONSTRUCTION. CONTRACTOR'S INVESTIGATION SHALL INCLUDE, BUT NOT BE LIMITED TO, LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES AND CLEARANCE AT CROSSINGS. TEST HOLES MAY BE NECESSARY. COMMENCEMENT OF CONSTRUCTION SHALL CONSTITUTE ACCEPTANCE BY THE CONTRACTOR OF THIS PLAN, CONDITIONS AND CONSEQUENCES THEREOF. RESULTS OF FINDINGS MAY NECESSITATE ADJUSTMENTS TO THIS PLAN.
- ALL CONSTRUCTION SHALL CONFORM TO THE SPECIFICATIONS AND REGULATIONS OF THE BOROUGH OF BERGENFIELD, THE COUNTY OF BERGEN, AND ADA REGULATIONS.
- CONTRACTOR SHALL CALL GARDEN STATE LOCATOR SERVICE (1-800-772-1000) IN ADVANCE OF BEGINNING ANY ACTIVITY ON THIS SITE AND IN ACCORDANCE WITH STATUTORY REQUIREMENTS.
- SOIL LOGS AND PERCOLATION TESTS ARE TO BE PERFORMED AT THE LOCATIONS OF THE PROPOSED RETENTION SYSTEM PRIOR TO CONSTRUCTION. THE TEST RESULTS ARE TO BE SUBMITTED TO THE BOROUGH ENGINEER FOR REVIEW AND APPROVAL.
- ALL EXISTING STRUCTURES ON SITE SHALL BE DEMOLISHED/REMOVED.
- THE LANE IS TO BE STRIPED AND SIGNED IN ACCORDANCE WITH BERGENFIELD FIRE DEPARTMENT.
- AN AS-BUILT SURVEY IS TO BE PREPARED UPON COMPLETION OF SITE IMPROVEMENTS.

3-23-21	REVISED LAYOUT	PL
1-20-21	REVISED FOR BERGENFIELD SITE PLAN COMMITTEE	PL
DATE	REVISION	BY



SITE PLAN
CR RESTORATION
483 HICKORY AVENUE

BERGENFIELD BLOCK 28 LOT 38 BERGEN COUNTY NEW JERSEY

LAPATKA ASSOCIATES, INC.
12 ROUTE 17 NORTH, SUITE 230
PARAMUS, N.J. 07652
(201) 261-1600

ENGINEER - LANDSCAPE ARCHITECTS - SURVEYORS

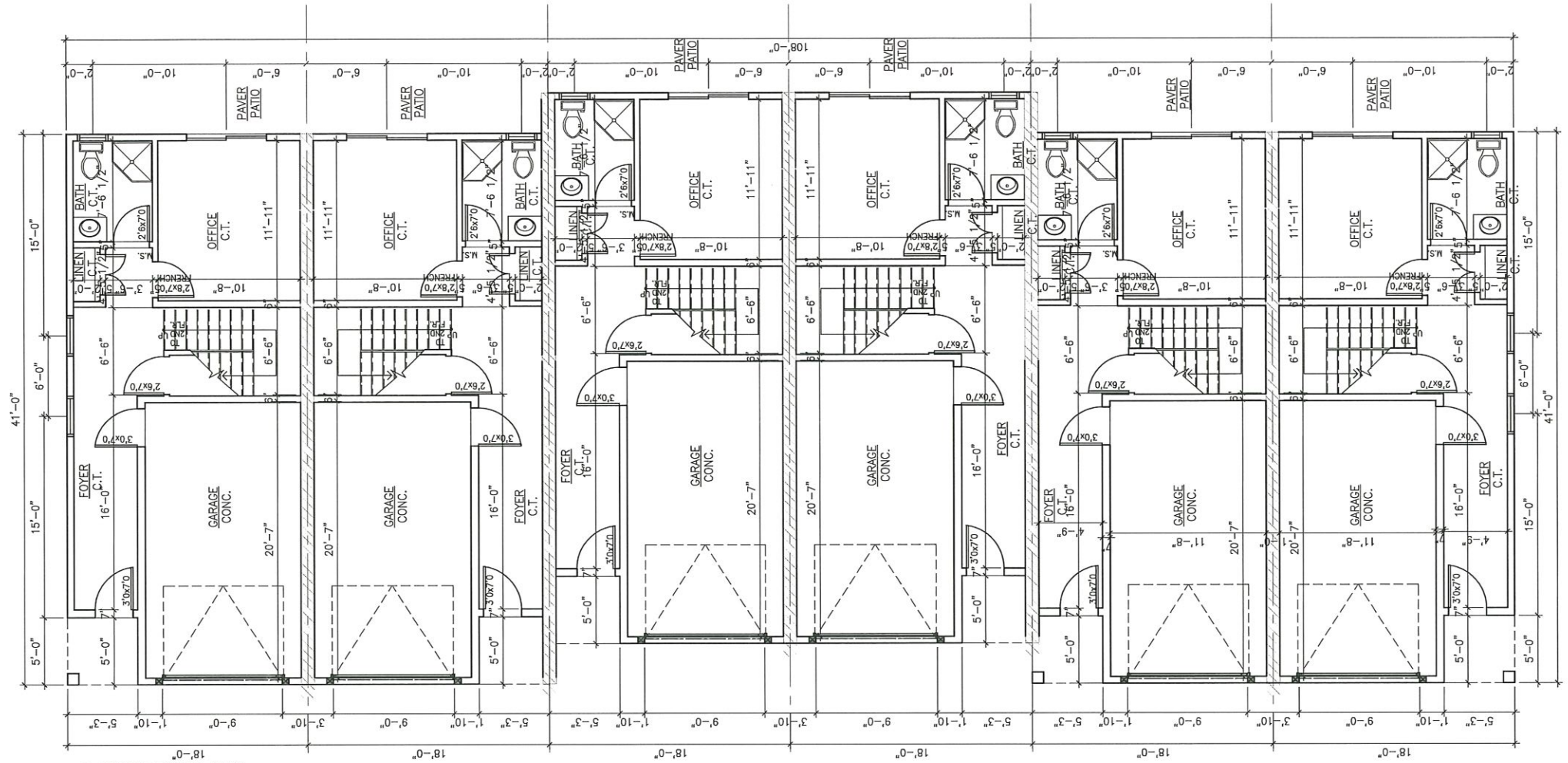
ALEXANDER J. LAPATKA P.E. 28218
JEFFREY H. KLEINE L.S. 35848
PROFESSIONAL ENGINEER PROFESSIONAL LAND SURVEYOR

APPROVED BY THE PLANNING BOARD OF THE BOROUGH OF BERGENFIELD

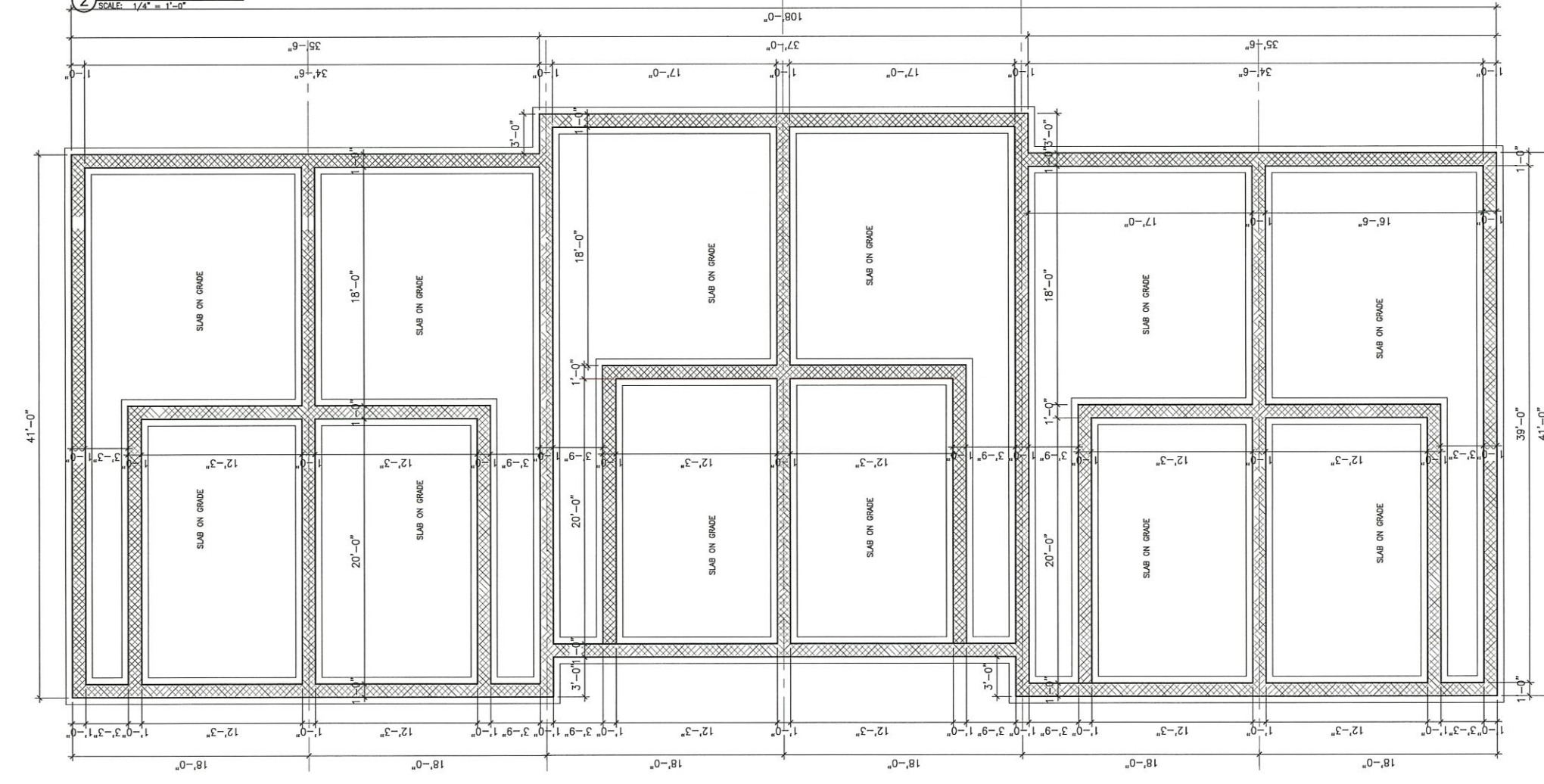
DATE: _____ CHAIRMAN: _____ SECRETARY: _____

DRAWN: _____ CHECKED: _____ SCALE: _____ DATE: _____ SHEET No.: _____ PROJECT No.: _____

no portion of this drawing shall be used for any purpose other than that for which it was prepared, unless the user obtains the written consent of the Architect. The Architect shall not be responsible for any errors or omissions in this drawing.



2 GRADE FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 FOUNDATION PLAN

j
jacob solo
architect
14-25 pl
suite
fair lawn nj
tel-201-7
fax-201-6
jsolomon@
Jacob Solo
Principal
NJ RA 21A
NY Lic. No.
FL Lic. No.
PA Lic. No.
www.jsallc

Jacob Solo

PROPOSED TOWNHOUSES:
CR RESTORATION, LLC
83 HICKORY AVENUE

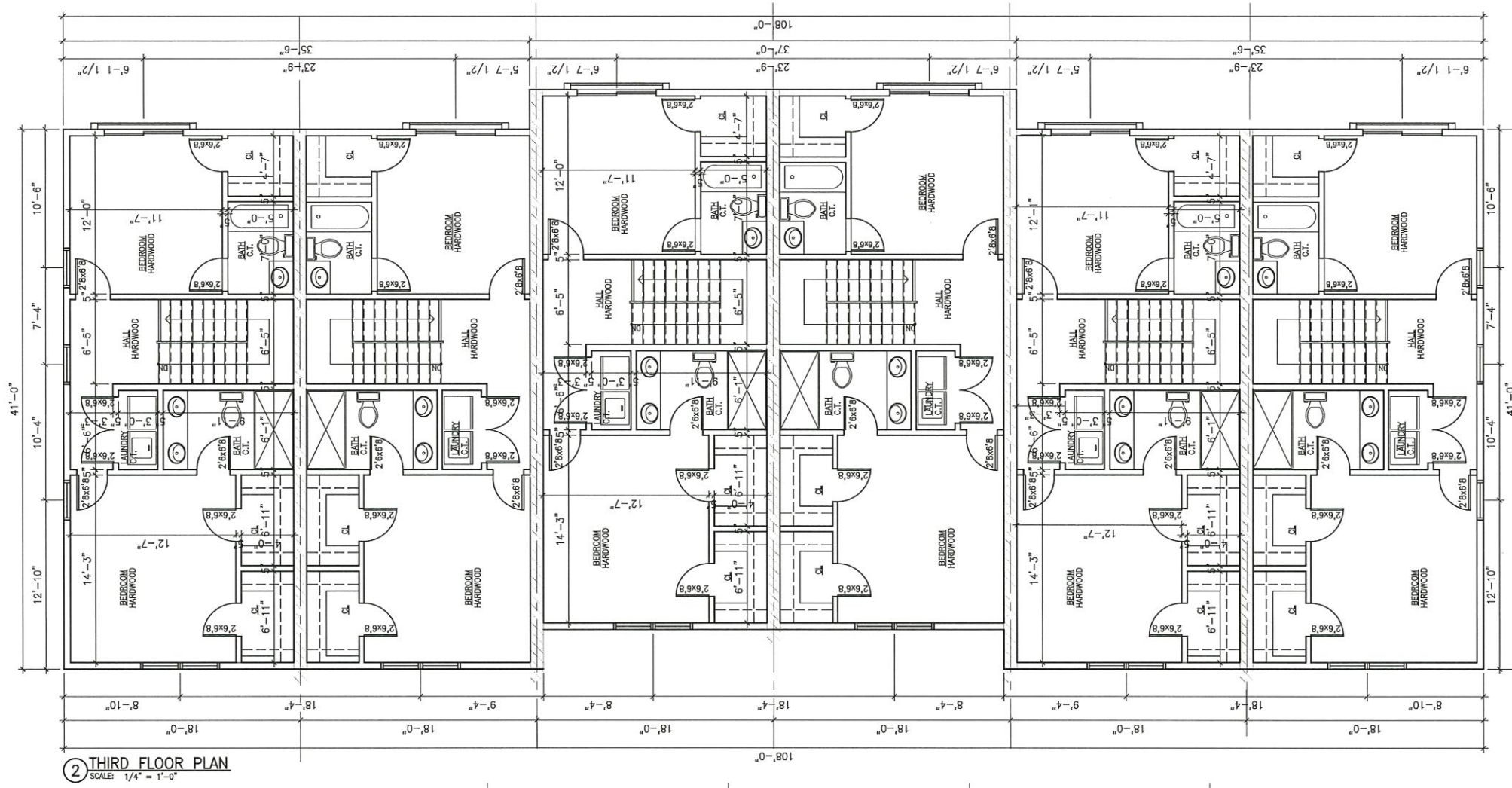
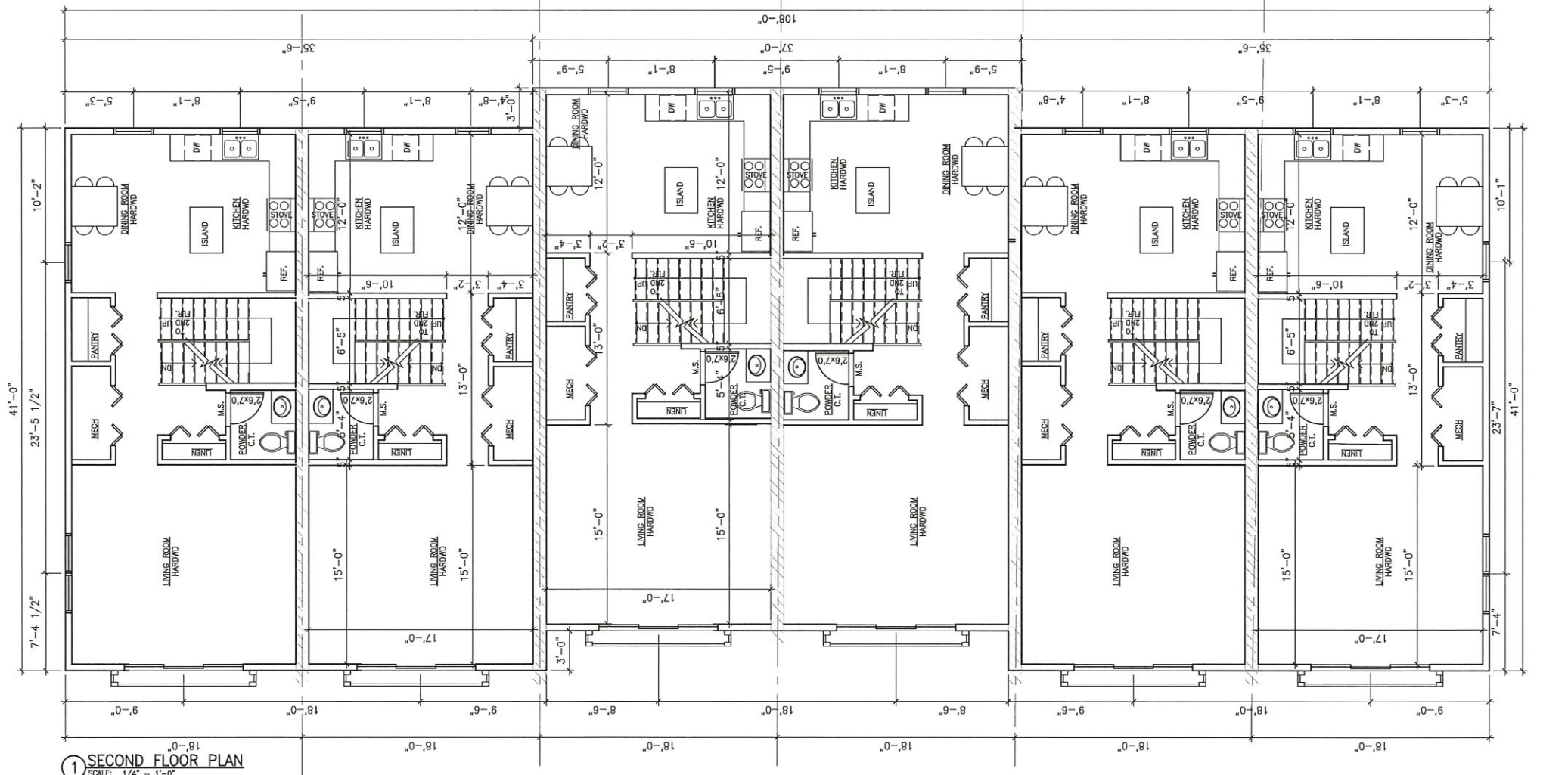
Date: 12/30/2011
Drawn By: J.S.
Checked By: G.M.
Job No: 20-3

Revisions	
1	Building Section
2	Building Reduc

Drawing Title:
FOUNDATION AND C
PLANS

A-

condition of law for any person, unless he or she is acting under the direction of a licensed professional Architect, to offer on item in any way, if an item bearing the seal of an Architect is altered, any Architect shall affix to the item his or her seal and the notation, "altered by" followed by the signature and the date of such alteration, and a specific description of the alteration.



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PROPOSED TOWNHOUSES:
CR RESTORATION, LLC
83 HICKORY AVENUE

Date: 12/30/
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Revisions
1 Building Sectio
2 Building Reduc

Drawing Title:
SECOND FLOOR AN
FLOOR PLANS

Dwg. A-

HORIZONTAL NICHHA
VINTAGEWOOD PANELS
COLOR REDWOOD

BLACK METAL CANOPY
WITH TURNBUCKLE SUPPORT

DOOR AND WINDOWS
WITH BLACK FRAMES

CEMENT STUCCO
DECORATIVE VEE GROOVES,
HORIZ. & VERT. (TYP.)

GLASS JULIET BALCONY
GLASS WITH BLACK
HARDWARE

HORIZONTAL STUCCO
BAND

CEMENT STUCCO
OVER STRUCTURAL
COLUMN

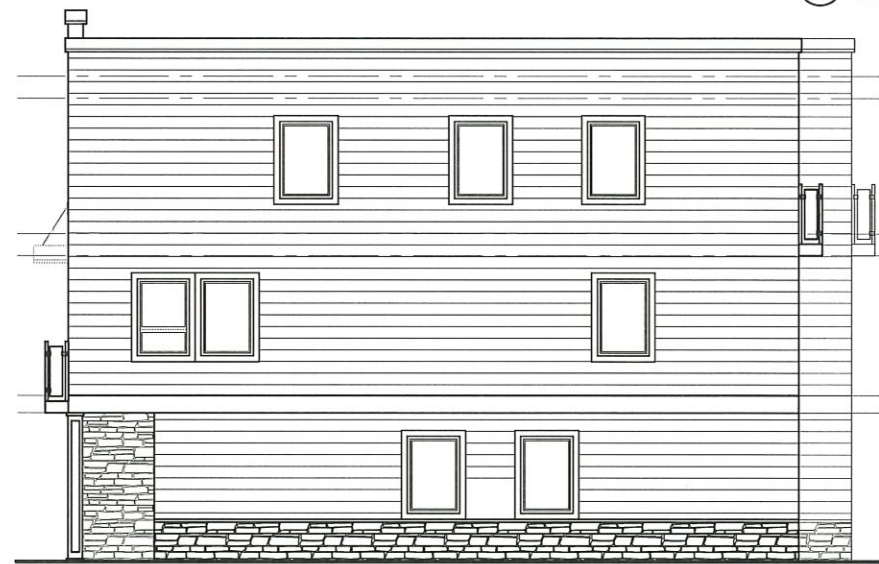
ELDORADO STONE
VENEER

AVERAGE GRADE

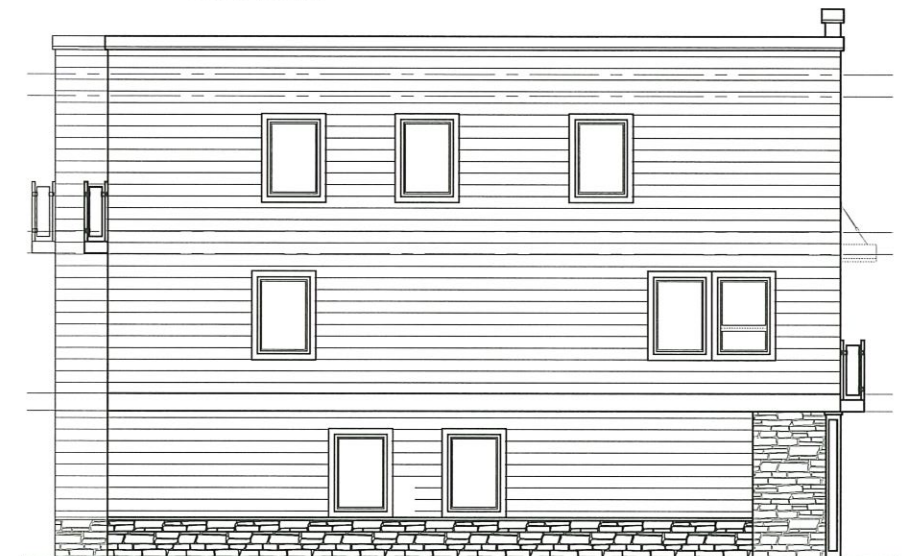
1 PROPOSED FRONT ELEVATION
SCALE: 3/16" = 1'-0"

INSULATED ENTRY
DOORS WITH FROSTED
GLASS AND
BLACK FRAMES

GARAGE DOORS WITH
FROSTED GLASS AND
BLACK FRAMES



2 PROPOSED RIGHT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
SCALE: 3/16" = 1'-0"



DOOR AND WINDOWS
WITH BLACK FRAMES

6" LEADERS TO
UNDERGROUND
RECHARGE SYSTEM

SIDING

ELDORADO STONE
VENEER

28'-9 1/2" TOP OF ROOF LOW POINT

7'-6 1/2"

8'-0"

8'-6"

3 PROPOSED REAR ELEVATION
SCALE: 3/16" = 1'-0"

I am not responsible for any errors or omissions in this drawing, or for any consequences arising therefrom, if such errors or omissions are caused by negligence or willful misconduct on the part of the Architect.



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PROPOSED TOWNHOUSES:
 CR RESTORATION, LLC
 8.3 HICKORY AVENUE

Date: 12/30/20
 Drawn By: J.S.
 Checked By: G.M.
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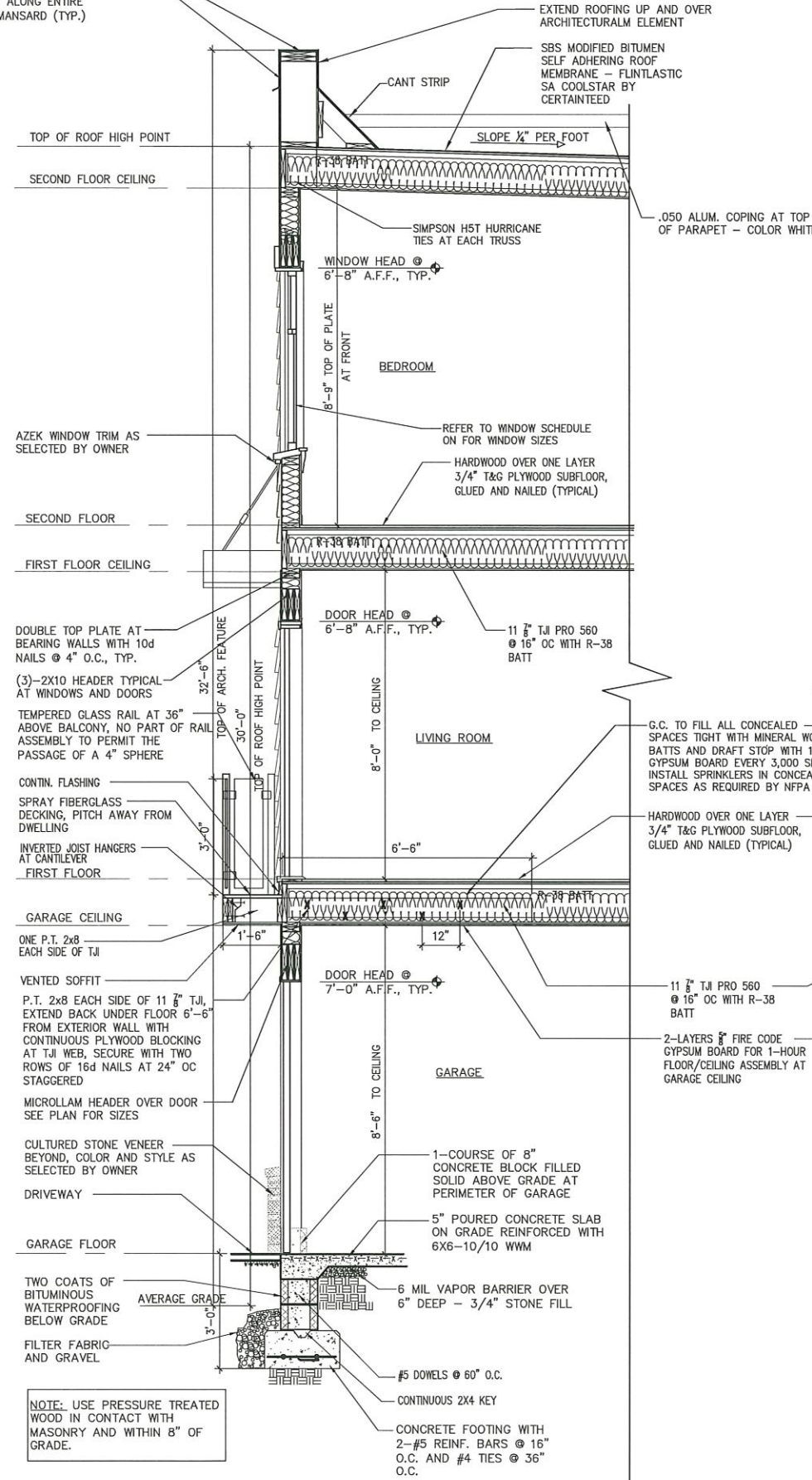
Revisions	
1	Building Section
2	Building Reduc

Drawing Title: EXTERIOR ELEVATION

Dwg 1

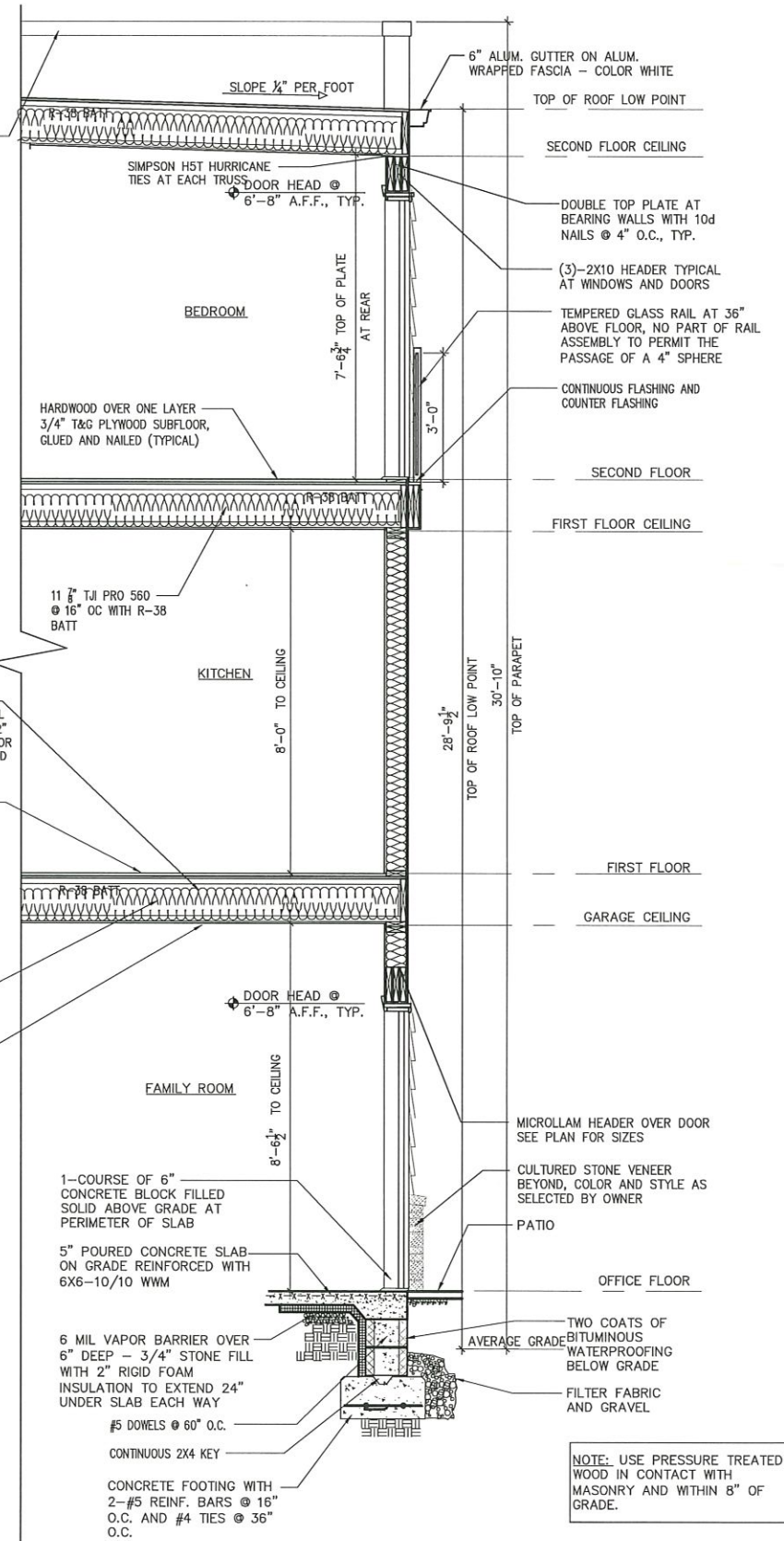
A-

PROVIDE 3/4" PLYND. OR 5/8" GYP. BD. FIREBLOCKING AGAINST PARAPET FRAMING AT INTERVALS NO GREATER THAN 20 FT. ALONG ENTIRE LENGTH OF MANSARD (TYP.)



NOTE: USE PRESSURE TREATED WOOD IN CONTACT WITH MASONRY AND WITHIN 8" OF GRADE.

1 BUILDING SECTION AT GARAGE
SCALE: 1/2" = 1'-0"



NOTE: USE PRESSURE TREATED WOOD IN CONTACT WITH MASONRY AND WITHIN 8" OF GRADE.

Addition of floor for any person, unless he or she is acting under the direction of a licensed professional Architect, is after an item bearing the seal of an Architect is altered. Any Architect shall stick to the item his or her seal and the notation "altered by" followed by his signature and the date of such alteration, and a specific description of the alteration.



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PROPOSED TOWNHOUSES:
 CR RESTORATION, LLC
 87 HICKORY AVENUE

Date: 12/30/
 Drawn By: J.S.
 Checked By: G.V.
 Job No: 20-3

Revisions
 1 Building Sectic
 2 Building Reduc

Drawing Title: BUILDING SECTION

Dwg

A-

in full compliance with the provisions of the Professional Architect Act, or any other applicable laws, regulations, codes, or standards, and the model shall be altered by the Architect in any way, if on them bearing the seal of an Architect is altered, and a specific description of the alteration.



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Checked By: G.M.

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Revisions

1	Building Section
2	Building Reduc

Drawing Title:
ARTISTIC RENDERING

Dwg .

R-