

**SUNSHINE NOTICE
BERGENFIELD ZONING BOARD OF ADJUSTMENT
DECEMBER MEETING
CHANGE OF MEETING TIME**

Please take notice that the Bergenfield Zoning Board of Adjustment meeting will be held remotely via Zoom on Monday, December 7, 2020 at 7:00 PM. Information to access the meeting remotely will be provided a few days prior to the meeting on the Borough of Bergenfield website, www.bergenfield.com or you may contact the Board Clerk, Hilda Tavitian, at (201) 387-4055 ext. 4056 Monday-Friday 8:30am-4:30pm.

The following application will be on the agenda for review:

OLD BUSINESS

1. 145 West Main Street, LLC
145 West Main Street
Change of use to a multi-family dwelling R-5 zone to RM zone

Hilda Tavitian, Clerk
Zoning Board of Adjustment

**BERGENFIELD ZONING BOARD OF ADJUSTMENT
REGULAR MEETING
TELECONFERENCE VIA ZOOM
December 7, 2020 7:00 PM**

AGENDA

MEETING CALLED TO ORDER

OPEN PUBLIC MEETING STATEMENT

In compliance with the Open Public Meetings Act, the notice requirements have been satisfied. Meeting dates are confirmed at the Annual Meeting. Notice of this meeting was provided to the Record, Star Ledger, and Cablevision, posted on two municipal public notice bulletin boards and published on the borough website. Notice of this meeting via the November 30, 2020 Sunshine Notice has been sent to the Record, Star Ledger, and Cablevision, posted on two municipal bulletin boards and the Borough website.

Any board member having a conflict of interest involving any matter to come before the board this evening is reminded they must recuse himself/herself from participating in any discussion on that matter.

PLEDGE OF ALLEGIANCE

INTRODUCTORY STATEMENT

Welcome to the Zoning Board of Adjustment. Let me briefly explain what we do. We are appointed by the Bergenfield Council to decide when a property owner should get relief from the strict application of the zoning code requirements. Typically, we hear two types of variances. The first is whether an applicant can vary from land restrictions including rules on sideline distance, height, and lot coverage. That is commonly called a bulk variance. The second is a use variance, where an applicant wants to use the property for a purpose not permitted under the zoning ordinance in that zone.

In these cases, the applicant has the burden of meeting certain criteria set forth in the Municipal Land Use Act. We carefully listen to the testimony, including objectors, and review all relevant documents. If a majority of the Board concludes that the applicant has satisfied those criteria, we must grant the requested variance.

ROLL CALL

APPROVE MINUTES OF PREVIOUS MEETING – November 18, 2020

Motion from board members to approve minutes.

CORRESPONDENCE

VERBAL COMMUNICATIONS

Comments by members of audience on matters not on evening's agenda

OLD BUSINESS

1. Resolution: 34 Highgate Terrace LLC
34 Highgate Terrace
Build a new single family house
2. Application: 145 West Main Street, LLC

145 West Main Street
Change of use to a multi-family dwelling R-5 zone to RM zone

MOTION TO ADJOURN MEETING

NOTE: No applications will be heard by the Board that were not on the agenda at the time of publication release to the newspaper or applications that do not comply with Article VIII title "Hearings contained in the By-Laws of the Bergenfield Zoning Board".

FILE NO. _____ DATE _____
DATE OF HEARING _____ DISPOSITION _____

BOARD OF ADJUSTMENT
MUNICIPAL BUILDING, BERGENFIELD, N.J.

APPLICATION FOR VARIATION/APPEAL
OF REQUIREMENTS OF ZONING ORDINANCE 1123

APPLICANT'S NAME 145 West Main Street LLC

ADDRESS 492 Cedar Lane, Ste 519, Teaneck, NJ 07666

OWNER'S NAME Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02

OWNER'S ADDRESS _____ PHONE # _____ and 6.03)

FED I.D.# or S S _____

Applicant will be represented at public hearing by Matthew G. Capizzi, Esq.

TO THE BOARD OF ADJUSTMENT:
Application is hereby made for a variation/appeal from the requirements of Section(s) See bulk table on site plan and/or from the requirements of the Scheduled Limiting Bulk of Buildings of the Zoning Ordinance in accordance with plans and specifications attached hereto and/or decision of Zoning Officer. The location of this property is at NUMBER: 145 West Main Street

DESIGNATED AS Block(s) 106 and Lot(s) 6.01-6.03 on the Assessment Map of the Borough of Bergenfield.

ZONING DISTRICT R-5

VARIANCES REQUIRED: LOT AREA _____ LOT FRONTAGE _____

LOT COVERAGE xxx FRONT YARD x REAR YARD xxx SIDE YARD _____

TOTAL SIDE YARD _____ OTHER (specify) _____
Max Impervious Lot Coverage, Min On Site Parking, Use, Max Building Height, and Min Front Yard Setback @ N Franklin Ave.

THE REASON FOR DESIRED VARIANCE/APPEAL
At the time of the public hearing, a professional planner will testify as to the variance criteria _____

DESCRIPTION OF PROPERTY

1. SIZE OF LOT 150.41 x 96.20 2. SQUARE FEET IN LOT 15,215

3. SIZE OF PRESENT BUILDINGS x 4. STORIES 2
x

5. TOTAL AREA 15,215 SQ. FT. 6. NUMBER OF ROOMS See Architectural Plan

7. PERCENTAGE OF PROPERTY NOW OCCUPIED BY ALL BUILDINGS 7.54 %

8. PRESENT OCCUPANCY OF BUILDING OR PROPERTY Single family residence

9. ARE THERE ANY DEED RESTRICTIONS ON THE PROPERTY? YES xxx (Sanitary Easement)
NO _____ (If yes, provide a copy of same)

10. CHARACTER OF BUILDINGS WITHIN 200 FT. OF PROPERTY _____
Residential, Commercial and Public School

11. HAS THERE BEEN ANY PREVIOUS APPEAL INVOLVING THESE
PREMISES? YES xxx NO _____ IF SO, DATE FILED _____
DISPOSITION Major Subdivision

12. ARE THERE ANY EXISTING VIOLATIONS OF THE ZONING
ORDINANCE? YES _____ NO xxx (IF SO, EXPLAIN) _____

13. IS THIS, OR ANY PART OF THIS PROPERTY IN THE FLOOD ZONE?
YES _____ NO x

14. DOES THIS PROPERTY BORDER ON ANY COUNTY ROAD?
YES _____ NO x

15. DOES THIS PROPERTY BORDER WITHIN 200 FT. OF ANY OTHER
MUNICIPALITY? YES _____ NO x

DESCRIPTION OF PROPOSED CHANGES

- 16. ARE ANY BUILDINGS TO BE DEMOLISHED? YES xxx NO _____
- 17. SIZE OF NEW ADDITION _____ x _____ SQ. FT. See Site Plan
 _____ AREA _____ HEIGHT
- 18. SIZE OF NEW BUILDINGS 55 x 110 SQ. FT.
 _____ AREA 32.99ft HEIGHT
- 19. PERCENTAGE OF PROPERTY TO BE OCCUPIED BY ALL BUILDINGS
 43.38% %
- 20. NUMBER OF FAMILIES/PERSONS TO BE PROVIDED FOR Multi-Family Building

 NOTE: ALL APPLICATIONS MUST INCLUDE: 1. Completed Application Form with Affidavits of Accuracy and Ownership. 2. An accurate Location Survey listing location of all structures with dimension to property lines with proposal sketched onto survey or submitted separately. 3. Copy of letter of denial by Construction Code Official or Zoning Officer, if applicable. ALL APPLICATIONS MUST BE FILED NO LESS THAN 30 DAYS PRIOR TO HEARING DATE. ALL PROOFS OF SERVICE, PUBLICATION, AND CERTIFICATE OF TAXES PAID MUST BE COMPLETED AND FILED WITH THE CONSTRUCTION CODE OFFICIAL NO LESS THAN TEN (10) DAYS PRIOR TO THE HEARING DATE. (All Return Receipts must be submitted prior to hearing.)

BOROUGH OF BERGENFIELD
APPLICATION FOR SITE PLAN APPROVAL

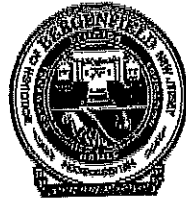
1. Applicant's name 145 West Main Street LLC Phone (H) _____
(B) _____
Applicant's address 492 Cedar Lane, Ste 519, Teaneck, NJ 07666
2. Name of present owner, if other than #1 _____
Lot 6.01 LLC (Owner as to Lot 6.01) and Lots 6.02 & 6.03 LLC (Owner as to Lots 6.02 and 6.03)
3. Location of property 145 West Main Street
4. Block(s) 106 Lot(s) 6.01-6.03 Zoning district R-5
5. Structural plans Yes No Front Elevation Yes No
6. Name of development, if any _____
7. Are all lots to be approved owned by same person,
corporation, or partnership? Yes No
8. If answer to #7 is no, give names of all owners. _____
9. Proposed uses of land and buildings
A. Multiple family dwelling structures Yes
Number of dwelling units 16
B. Commercial Use _____ C. Industrial Use _____
D. Other _____
10. If 1, 2 or 9 is in the name of a partnership or
corporation, list name and address of the attorney who
will represent the applicant. Matthew G. Capizzi, Esq.
11 Hillside Avenue, 2nd Fl., Tenafly, NJ 07670 Phone 201-266-8300
11. Name of architect/engineer/surveyor Michael Hubschman P.E, P.P.
Hubschman Engineering Address 263A S. Washington St., Bergenfield, NJ 07621
Phone 201-384-5666 Chris Blake Architect, 24 New Bridge Road, Bergenfield NJ, 07621
12. Name & Address of site planner if other than #11 _____ 201-816-9523
Phone _____
13. Land area sq. ft. 15,215 Landscape area sq. ft. _____
Impervious surface area sq. ft. 10,789
14. Building area sq. ft. 6,600 structure height 32.99ft
stories 3
15. Parking spaces required 30 parking spaces
provided 25

16. Parking space dimensions, Width⁹ Length¹⁸ Driveway
aisle width _____ Angle of parking: Parallel ___ 45
___ 60 ___ 90 ___
17. Loading space(s) required NA Proposed loading
spaces _____
18. Loading space dimensions Width _____ Length _____
19. Are any new signs proposed Yes _____ No xxx
20. Existing signs, None xxx Will Remove _____ To Remain
_____ Renovate _____
21. Are there any deed restrictions in force on this
property? Yes _____ No xxx If yes, include a copy
of the deed.
22. Is this or any part of this property in flood zone?
Yes _____ No xxx
23. Does this property border any county road? Yes ___ No xxx
24. Are there presently any utilities to this property?
Gas, xxx Electric, xxx Storm drains, _____
Telephone, _____ Cable TV, _____ Sanitary Sewers, xxx
25. Is this property within 200' of any other municipality?
Yes _____ No xxx
26. Are any variances required because of this application?
Yes xxx No _____
27. If answer to #26 was yes, state all variances required.
Use xxx Lot area _____ Lot frontage _____
Front yard xxx Side yard _____ Rear Yard xxx
Total side yard _____ Parking xxx Buffer _____
Other Maximum Impervious Lot Coverage, Maximum Lot Coverage, Building Height, and
and Minimum Front Yard Setback @ N Franklin Ave.
28. Has a previous variance application been filed on this
property? Yes xxx No _____
29. Is this application filed because of existing zoning
violation? Yes _____ No xxx

All questions must be answered or this application may be
deemed to be incomplete.

I, certify the above information and documents accompanying
this application are true. (Willfully false statements are in
violation of the law).

Signature of Applicant / Date Signature of Owner if / Date
other than applicant



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

May 28, 2020

145 W. Main Street, LLC
145 W. Main Street
Bergenfield, NJ 07621

RE: Multi-family Dwelling

Dear 145 W. Main Street, LLC

Your application for change of use to a multi-family dwelling R-5 Zone to RM Zone has been denied for the following reasons:

1. Change of use from R-5 to RM Zone.
2. Maximum density 12 units per acre 43,560 sq. feet. Proposed 16 units on 14,469 sq. feet.
3. Minimum front yard setback R-5 & R-6 25 sq. feet. Proposed front yard 22.9 sq. feet.
4. Minimum rear yard setback R-5 & R-6 25 sq. feet. Proposed rear yard 20 sq. feet.
5. Maximum lot coverage allowed R-6 over 6,000 sq. feet or 30%. Proposed lot coverage 43.38 %.
6. Maximum total improved lot coverage R-6 over 6,000 sq. feet or 35%. Proposed lot coverage 70.91%
7. Required multi-family dwelling units set back 35 sq. feet from front property line and a least 25 sq. feet from any other property line or from curb to street. (see 186-57 yards). Proposed 22.9 sq. feet front yard, 15 sq. feet from both side yards.
8. 186-55 design requirements, site plan for any multi-family development shall not be less than 20,000 sq. feet. Proposed 14,469.44 sq. feet.
9. Minimum required parking for occupants only 32 spaces not including visitor spaces. Proposed 25 parking spaces including two (2) handicap spaces.



BOROUGH OF BERGENFIELD

198 NORTH WASHINGTON AVENUE
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.
(201) 387-4055 EXT. 1-4092
FAX: (201) 385-7376

January 27, 2020

Matthew G. Capazzi, Esq
11 Hillside Avenue, second floor.
Tenafly, NJ 07670

RE: Multi-Family Residential Building, 145 W. Main St.

Dear Mr. Capazzi,

Your application to build a multi-family residential building has been denied for the following reasons:

1. A multi-family building is not permitted in the R-6 zone.
2. Front yard setback required is 25 sq. feet where 20.95 sq. feet is proposed (W. Main).
3. Rear yard setback required is 25 sq. feet where 18 sq. feet is proposed.
4. Maximum building coverage permitted is 30% where 41.24 % is proposed.
5. Maximum building height permitted is 30 feet where 36.4 feet is proposed.
6. Maximum number of stories permitted is 2 where 3 are proposed.
7. Maximum improved lot coverage permitted is 35% where 75.16% is proposed.
8. Number of parking spaces required is 29 where 15 are proposed.

You have the right to appeal my decision to the zoning board of adjustment. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,

Harry Hillenius
Zoning Officer

Borough of Bergenfield
Site Plan Committee Minutes
February 10, 2020

1. Call to Order

The meeting was called to order at 7:00 PM

2. Roll Call:

<u>Richard Morf</u>	<u>Robert Rivas</u>		
<u>Gerard Naylis</u>		<u>John Pampaloni</u>	<u>Michael Ravenda</u>
<u>Perry Sulich</u>	<u>Joseph Scalora</u>		
<u>Robert Giacomelli</u>	<u>R Mader</u>		

3. Item 1.

JAH Realty Association

Site Address: 205-207 North Washington Avenue

Seeks to convert first floor office space into 4 - 1 bedroom apartments.

Attorney: Matthew Capizzi
11 Hillside Avenue
Tenafly, NJ 07670
201-266-8300

Architect: Chris Blake Architect
24 New Bridge Road
Bergenfield, NJ 07621
201-816-9523

Engineer: Hubschman Engineering
263 A. South Washington Avenue
Bergenfield, NJ 07621
201-384-5666

Owner was represented by Mr. Capizzi and Mr. Hubschman

Mr. Capizzi introduced the project:

- * Convert existing first floor office space into 4 – 1 bedroom apartments;
 The building currently has 4 – 1 bedroom apartments on the second floor and
 Office space on the first floor.
- * The office space has been vacant for years
- * The new use will greatly reduce the existing parking non-conformity
 - existing use requires 25.8 spaces
 - proposed use will require 14.4 spaces
 - there are 12 spaces currently
- * The owner will continue to be responsible for garbage/recycling and snow removal

4. Item 2.

145 West Main Street LLC
Menachem Stein
492 Cedar Lane, Ste. 519
Teaneck, NJ 07666

Site Address 145 West Main Street

Seeks to build a 15 unit apartment building: 5 – 1 bedroom units 10- 2 bedroom units

Attorney: Matthew Capizzi
11 Hillside Avenue
Tenafly, NJ 07670
201-266-8300

Architect: Chris Blake Architect
24 New Bridge Road
Bergenfield, NJ 07621
201-816-9523

Engineer: Hubschman Engineering
263 A S. Washington Avenue
Bergenfield, NJ 07621
201-384-5666

Mr. Capizzi introduced the project:

- * His client purchased 3 lots on West Main Street
- * Seeking to build a 15 unit apartment building
- * Seeking use and several bulk variances

Mr. Hubschman went over site plan/architectuals:

- * 15 unit building - 3 floors- 10- 2 bedroom units, 5- 1 bedroom units
- * Entrance only from west Main
- * Entrance/exit from N. Franklin
- * Drive under rear of building to parking at back of property
- * Existing 12' sewer easement will remain
- * Stormwater retention system is under rear parking lot

Board Comments:

Mr. Scalora:

- Concerned about the 81 trees being planted around perimeter.
- Questioned the size of the rooms and the ceiling height in relation to the height of building

Mr. Hubschman:

- Landscaping can be adjusted
- Height variance is only needed because of slope of property in the rear

Mr. Naylis:

- Project exceeds density, from 3 – 1 family homes to 15 units

Mr. Morf:

- Entire proposal is too much, parking, height, set backs, lot coverage all problems
- Too big for lot size

- Traffic problems with the school across the street
- Not permissible in R-5 zone
- Worried about setting a precedent

Mr. Naylis:

- Planning board changed the height requirements for B1 & B2 trying to push this type of development into those zones
- That is where this building belongs

Mr. Ravenda:

- Try and buy 2 rear lots to make the project at least somewhat compliable.
- Concerned about the traffic and the school

Mr. Capizzi:

- The school traffic and street closing will have to be resolved because the 2 rear lots have been approved

Mr. Morf:

- Single family homes should be built

Mr. Capizzi:

- The area is currently mixed use

Mr. Morf:

- As existing businesses leave, the property can only be developed as residential

Mr. Naylis:

- The project is too big and will be knocked down as it is.

Mr. Capizzi:

- Can we downsize it
- What about affordable housing units

Mr. Morf:

- Cut the top floor off
- Or remove 1 quadrant completely
- Eliminating 4 2 bedrooms and 2 1 bedroom units

Mr. Rivas:

- Removing quadrant will allow entrance and exit on West Main
- No access from N Franklin

Mr. Perry:

- Question impact on school by adding 15 units
- Is there an elevator or walk up

Mr. Capizzi:

- No elevator

Mr. Ravenda:

- The parking is a major issue, the project needs to be reduced in size
- Concerned about school crossing, is there a patrolman at the corner?

Mr. Mader:

- There is only a crossing guard at that corner

Mr. Giacomelli:

- How are you going to handle garbage
- Where are you going to put the bins
- Snow will have to be trucked off of site

Mr. Naylis:

- The fire trucks will operate from N. Franklin and West Main St. no need to fit on property
- Questioned attic construction and space

- Suggested installing a dry sprinkler system for the attic space piped to a FDC at edge of property. The owner can still use a 13r system but the attic would be covered by the dry system.

Mr. Pampaloni:

- The plan called for the sewer to be tied into the 24" line in the existing easement.
- This line carries 40% of Bergenfield's sewage and ties directly into a line that carries 90% of the sewage.
- This line during storms becomes full and it takes days for it drain.
- The building will not drain into it during those times
- Tie in building sewer into 8" line on West Main which is higher than the 24" line

Mr. Capizzi:

- For the project to work, even if they scale it back, they will still need relief for:
 - o Height
 - o Parking
 - o Setbacks
 - o Lot coverage

Board Recommendations:

- **Project needs to be reduced dramatically:**
 - o **Density**
 - o **Height**
 - o **Lot coverage**
- **Reduce overall building by 30%**
- **Relocate sewer to West Main Street**
- **Ingress/egress only from West Main Street**
- **Eliminate any access to N Franklin**

Meeting Adjourned at 8:11PM

GENERAL NOTES

- TOTAL LOT AREA = 15,215 S.F. (0.349 Ac.)
- ELEVATIONS BASED ON NGVD 1929.
- LOCATION OF UTILITIES BASED ON FIELD MARKOUT BY UTILITY COMPANIES.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- ALL DAMAGED CURBS AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS.
- STREET TO BE CLEANED EVERYDAY IF NECESSARY.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- EXISTING IMPERVIOUS AREA = 2,976 S.F.
PROPOSED IMPERVIOUS AREA = 10,789 S.F.
TOTAL INCREASE = 7,813 S.F.
- CONTRACTOR TO UTILIZE EXISTING UTILITY CONNECTIONS WHERE FEASIBLE.
- APPLICANT AND/OR CONTRACTOR SHALL CONTACT MR. ED RAVETTINE, DEPARTMENT OF PUBLIC WORKS INSPECTOR, AT (201) 336-6815 PRIOR TO BEGINNING CONSTRUCTION AND WHEN CONSTRUCTION IS COMPLETE.
- ANY PROPOSED PLANTINGS ALONG THE PROPERTY FRONTAGE WITHIN THE SIGHT TRIANGLE AREA SHALL HAVE A MATURE HEIGHT OF THIRTY (30) INCHES OR LESS, MEASURED FROM THE DRIVEWAY PAVEMENT, TO ENSURE ADEQUATE SIGHT DISTANCE ALONG KNICKERBOCKER ROAD.
- ALL TRAFFIC SIGNS MUST CONFORM IN FACE DESIGN AND CONSTRUCTION TO SPECIFICATIONS FOUND IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, U.S.D.O.T. FEDERAL HIGHWAY ADMINISTRATION, SPECIFICALLY, REGULATORY & WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH DIAMOND GRADE REFLECTIVE SHEETING SERIES 4,000 TYPE XI DESIGNATION PER ASTM.
- ROAD OPENING PERMIT IS REQUIRED AND APPLICATION SHALL BE MADE TO THE BERGEN COUNTY OPERATIONS DIVISION AND FEES FOR THE SAME SHALL BE PAID AS SET FORTH THEREIN. A COPY OF SAID PERMIT SHALL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ECONOMIC DEVELOPMENT PRIOR TO ANY CONSTRUCTION ALONG COUNTY ROAD AND/OR WITHIN THE COUNTY'S RIGHT-OF-WAY.
- ALL MATERIALS AND CONSTRUCTION PERFORMED IN ANY OF THE COUNTY OF BERGEN'S RIGHT-OF-WAY/ROAD WORKING EXEMPT SHALL BE IN ACCORDANCE WITH CURRENTLY ADOPTED NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION OR NEVER) AS MODIFIED BY ANY SUPPLEMENTAL SPECIFICATIONS AND AMENDMENTS BY THE N.J.DOT AND COUNTY OF BERGEN SPECIFICATIONS. THIS WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: MONUMENTS, REFERENCE MARKERS, CURBS, SIDEWALKS, GUIDE RAIL & END TREATMENTS, FENCES, RETAINING WALLS, STORM DRAINAGE PIPES, STORM DRAINAGE STRUCTURES, BRIDGES & CULVERTS AND ROADWAY CONSTRUCTION. OMISSION AND/OR CORRECTIONS DEEMED NECESSARY TO CONFORM TO ANY SPECIFICATIONS AND DETAILS SHALL BE THE RESPONSIBILITY OF THE PROJECT'S APPLICANT, DEVELOPER, CONTRACTOR AND/OR PROPERTY OWNER.
- COUNTY SIGHT DISTANCE CRITERIA - THE DRIVER'S POSITION SHALL BE FIFTEEN (15) FEET BEHIND THE CURB LINE. THE DRIVER'S EYE LEVEL SHOULD BE SET AT A POINT THREE AND A HALF (3.5) FEET ABOVE THE DRIVEWAY PAVEMENT AND THE DRIVER SHOULD BE CAPABLE OF SEEING AN OBJECT TWO (2) FEET HIGH PLACED IN THE CENTER OF ALL LANES. DEPICTED SIGHT DISTANCES REFLECT MAXIMUM CLEAR SIGHT DISTANCE.
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8' MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
- ANY EXISTING CURB AND SIDEWALK ALONG THE COUNTY ROAD FRONTAGE BE REMOVED AND REPLACED WITH NEW FULL HEIGHT CURB (8") AND SIDEWALK IN CONFORMANCE TO THE COUNTY ENGINEER'S DESIGN STANDARDS.
- RELOCATION OF UNDERGROUND ELECTRIC SERVICE THAT IS NECESSITATED BY ANY MODIFICATIONS/REMOVAL/RELOCATION OF UTILITY POLES IS THE RESPONSIBILITY OF THE PROPERTY OWNER, AND NOT THE COUNTY OF BERGEN.
- THE PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS SET FORTH BY THE BERGEN COUNTY SOIL CONSERVATION DISTRICT (N.J.S.A. 4:24-4.3). A COPY OF THE SOIL CONSERVATION DISTRICT APPROVAL LETTER SHALL BE SUBMITTED TO THE COUNTY PLANNING BOARD.
- ALL EXISTING OR PROPOSED SIDEWALKS, CURBING AND HANDICAP RAMPS MUST BE CONSTRUCTED AND/OR RECONSTRUCTED TO MEET THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA.) THE DESIGN/CONSTRUCTION OF THE HANDICAPPED RAMP AND THE TYPE OF TRUNCATED DOME SURFACE SHALL BE SPECIFIED & CERTIFIED BY THE MUNICIPAL ENGINEER OR HIS DESIGNEE. PURSUANT TO TITLE 27:16-8, THE COUNTY OF BERGEN MAINTAINS ROADWAYS BETWEEN CURB LINES OR EDGES OF ASPHALT AND IS NOT RESPONSIBLE FOR THESE IMPROVEMENTS.
- ALL IDENTIFICATION AND COMMERCIAL SIGNS AT THE DRIVEWAY ENTRANCE/EXIT SHALL BE OF A TYPE, SIZE AND SO LOCATED AS NOT TO IMPEDE SIGHT DISTANCE ALONG THE COUNTY ROAD.
- CURB AND ROADWAY SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE BERGEN COUNTY ENGINEER'S "DESIGN AND CONSTRUCTION PLAN STANDARDS."
- ALL PAVEMENT MARKINGS/STRIPING WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE OF A REFLECTIVE THERMOPLASTIC MATERIAL APPLIED IN ACCORDANCE WITH BERGEN COUNTY DESIGN STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS FOR APPLICATION.
- ALL INLETS WITHIN THE COUNTY R.O.W. SHALL HAVE BICYCLE GRATES (CAMPBELL FOUNDRY PATTERN #2877), AND "N-LOG" CURB PIECES (CAMPBELL FOUNDRY PATTERN #2818.) ALL GOODS AND PRODUCTS TO BE USED SHALL BE AMERICAN MADE, WHEREVER AVAILABLE, CONSISTENT WITH STATE STATUTE 40A:11-18.
- ALL EXISTING TRAFFIC CONTROL SIGNS SHALL BE RESET AT THE TIME OF CONSTRUCTION AND NOT STOCKPILED.
- APPLICANT SHALL PROVIDE THE COUNTY WITH REVISED DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO ANY CHANGES OR MODIFICATIONS NECESSITATED BY FIELD CONDITIONS.

BLOCK 105
LOT 2
BOARD OF EDUCATION

BLOCK 110
LOT 20

NORTH FRANKLIN AVENUE (60' R.O.W.)

WEST MAIN STREET (50' R.O.W.)

HARING STREET

I CONSENT TO THE FILING OF THIS SITE PLAN. IT MEETS ALL ORDINANCES AND REGULATIONS UNDER MY JURISDICTION.

OWNER	DATE	BOROUGH ENGINEER	DATE
APPLICANT	DATE	CONSTRUCTION OFFICIAL	DATE

SITE PLAN OF PROPOSED RESIDENTIAL BUILDING LOT 6.01, 6.02 & 6.03 BLOCK 106 ZONE R-5
DATE: SCALE: 1"=20'

APPLICANT: 145 WEST MAIN STREET, LLC
ADDRESS: C/O MATTHEW CAPIZZI, ESQ. 11 HILLSIDE AVENUE, 2ND FL. TENAFLY, NJ 07670

I HEREBY CERTIFY THAT I HAVE PREPARED THIS SITE PLAN AND THAT ALL DIMENSIONS AND OTHER INFORMATION SET FORTH ARE CORRECT.

MICHAEL J. HUBSCHMAN, P.E.
N.J.P.E. No. 29497
TITLE AND LICENSE NUMBER

APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF BERGENFIELD

By: CHAIRMAN DATE SECRETARY DATE

I HEREBY CERTIFY THAT ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED OR THAT A PERFORMANCE GUARANTY HAS BEEN POSTED IN ACCORDANCE WITH THE SITE PLAN ORDINANCE.

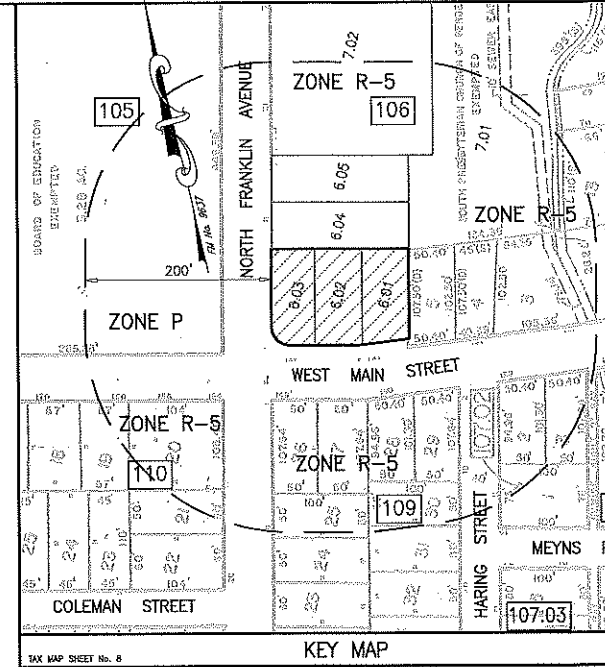
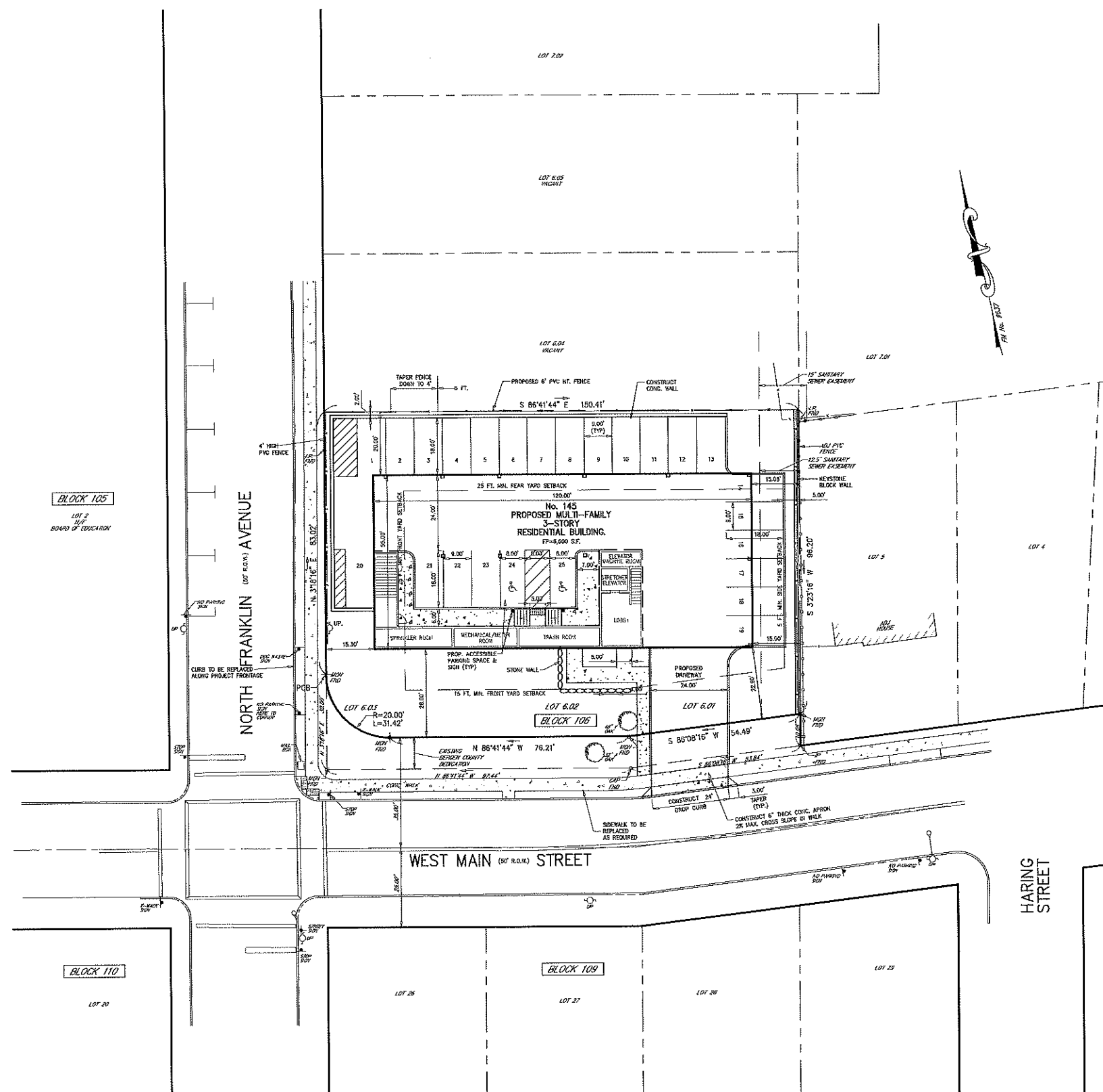
I HEREBY CERTIFY THAT ALL THE REQUIRED IMPROVEMENTS OF THIS SITE PLAN HAVE BEEN INSTALLED IN COMPLIANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS.

IT IS HEREBY CERTIFIED THAT TAX PAYMENTS ARE CURRENT.

TAX COLLECTOR DATE

APPROVED BY THE COUNTY PLANNING BOARD COUNTY OF BERGEN, NEW JERSEY

THIS IS TO CERTIFY THE COMPLETENESS OF THE ABOVE REFERENCED DEVELOPMENT APPLICATION.



ZONING NOTES
R-5 ZONE
PROPOSED MULTI-FAMILY DWELLING

REQUIREMENT	PROPOSED
MIN. LOT AREA	5,000 S.F. / 15,215 S.F.
MIN. LOT WIDTH	50 FT. / 50 FT.
MIN. MAIN STREET	50 FT. / 50 FT.
MIN. NORTH FRANKLIN AVENUE	50 FT. / 50 FT.
MAX IMP. LOT COVERAGE	40% / 70.91% *
MAX LOT COVERAGE	40% / 43.38% *
MAX BUILDING HEIGHT	30 FT. / 2 STY. / 32.99 FT. / 3 STY. *
MIN. FRONT YARD	15 FT. / 22.90 FT.
MIN. NORTH FRANKLIN AVENUE	15 FT. / 15.30 FT. *
MIN. SIDE YARD (ONE)	5 FT. / 15.00 FT.
MIN. SIDE YARD (BOTH)	10 FT. / N/A
MIN. REAR YARD	25 FT. / 20.00 FT. *
MIN. PARKING	30 SPACES / 25 SPACES *

* VARIANCE REQUIRED.

PROPOSED BLDG. COVERAGE CALC'S

FOOTPRINT	= 1,118 S.F.
OVERHANG	= 5,482 S.F.
TOTAL IMP. COV.	= 6,600 S.F./15,215 S.F. = 43.38%

PROPOSED IMPERVIOUS COVERAGE CALC'S

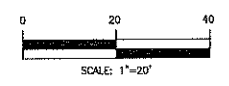
LOT COVERAGE	= 5,600 S.F.
PARKING & DRIVEWAY	= 3,929 S.F.
WALKS	= 260 S.F.
TOTAL IMP. COV.	= 10,789 S.F./15,215 S.F. = 70.91%

PARKING DATA

(12) - 1 BEDROOM UNIT 12 x 1.8	= 21.6 SPACES
(4) - 2 BEDROOM UNIT 4 x 2.0	= 8.0 SPACES
TOTAL	= 29.6 SPACES REQUIRED
	= 30 SPACES REQUIRED
	= 25 SPACES PROVIDED

- REFERENCES**
- A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP No. 9637.
 - BOROUGH OF BERGENFIELD TAX MAP.

- DRAWING LIST:**
- 3821-1 SITE PLAN
 - 3821-2 GRADING, DRAINAGE AND UTILITY PLAN
 - 3821-3 SOIL EROSION AND SEDIMENT CONTROL PLAN; DETAILS
 - 3821-4 STORMWATER MANAGEMENT DETAILS
 - 3821-5 LIGHT AND LANDSCAPING PLAN; DETAILS
 - 3821-6 EXISTING CONDITIONS PLAN



ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J. LIC No. 37206

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

HUBSCHMAN, P.A.
ENGINEERS - PLANNERS - SURVEYORS
2634 S. WASHINGTON AVE., BERGENFIELD, NJ 07621

DRAWN BY: B.M.
CHKD BY: M.H.
SCALE: 1"=20'
DRAWING NO. 3821-1

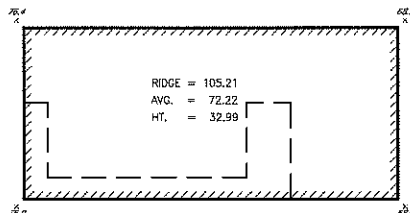
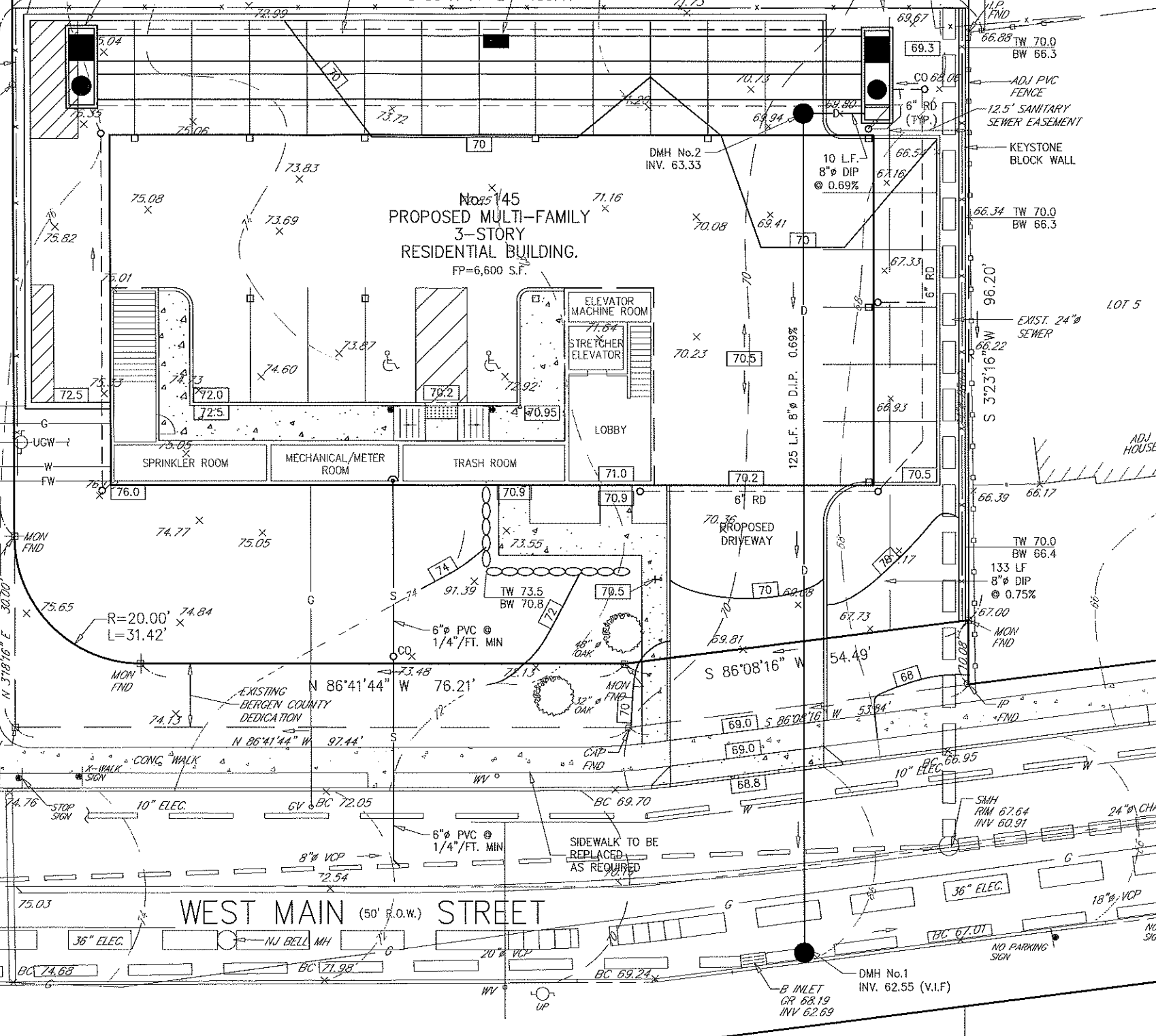
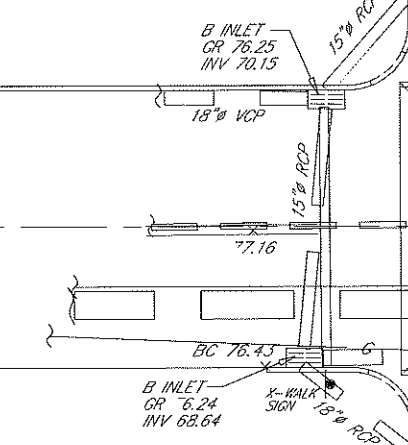
BLOCK 105

LOT 2
N/F
BOARD OF EDUCATION

NORTH FRANKLIN AVENUE (50' R.O.W.)

WEST MAIN STREET (50' R.O.W.)

No. 145
PROPOSED MULTI-FAMILY
3-STORY
RESIDENTIAL BUILDING.
FP=6,600 S.F.



BUILDING HEIGHT
(EX. GR. 04' OFF CORNER)

BLOCK 110

LOT 20

BLOCK 109

LOT 27

LOT 29

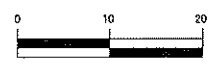
1	MODIFIED BUILDING & SITE LAYOUT	5-1-20	N.H.
NO.	REVISIONS	DATE	BY

GRADING, DRAINAGE & UTILITY PLAN

LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
 BOROUGH OF BERGENFIELD BERGEN COUNTY
 APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPIZZI, ESQ.
 11 HILLSIDE AVENUE, 2ND FL.
 TENNEY, NJ 07670

MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

DRAWN BY: B.W.
 CHECK BY: M.H.
 SCALE: 1"=10'
 DRAWING NO. 3821-2

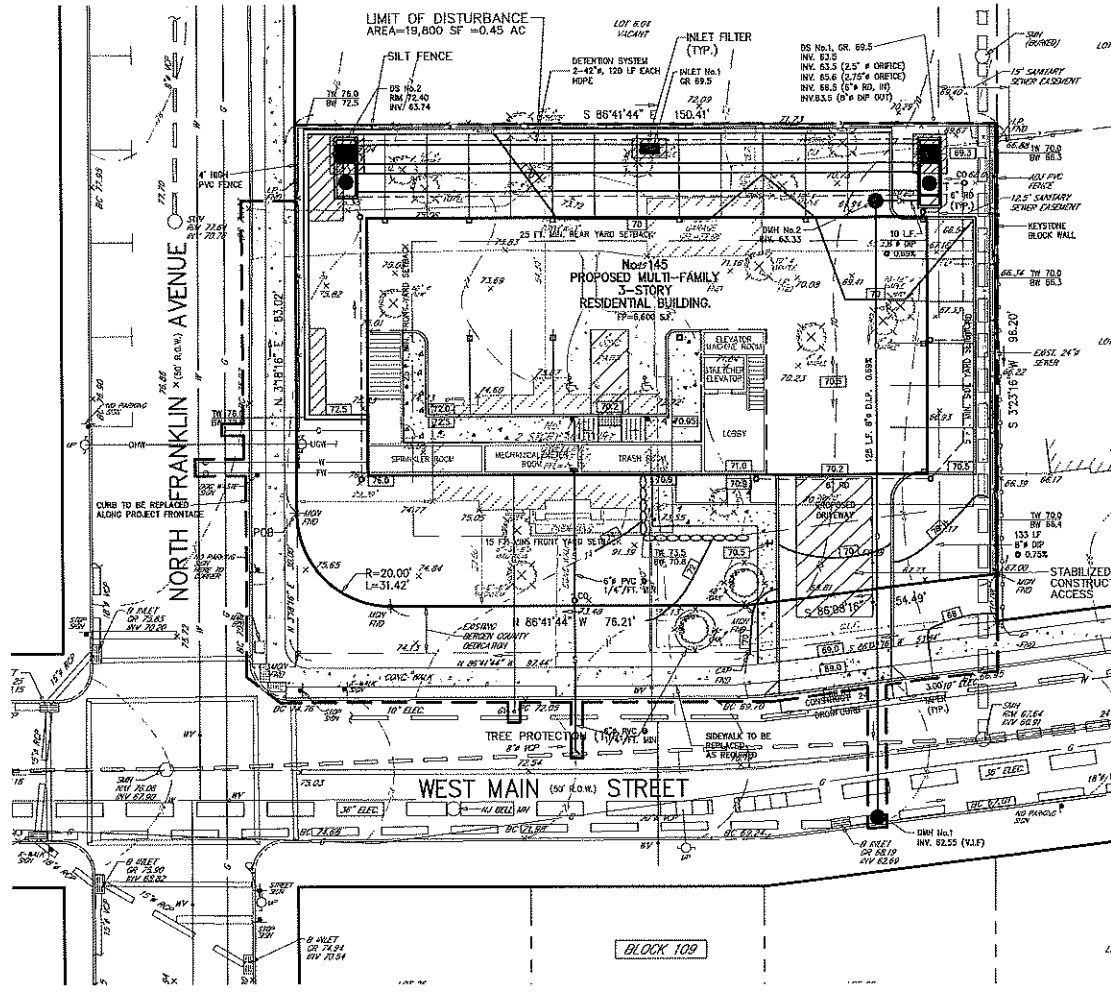


**BERGEN COUNTY SOIL CONSERVATION DISTRICT
SOIL EROSION AND SEDIMENT CONTROL NOTES**

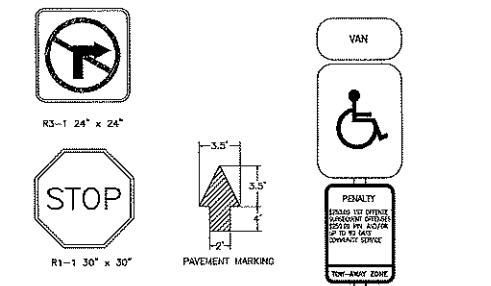
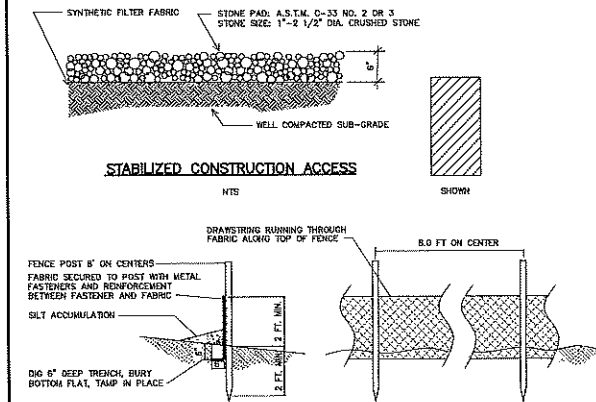
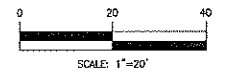
- All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards) and will be installed in proper sequence and maintained with permanent stabilization to completion.
 - Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the season prohibits temporary seeding, the disturbed area will be mulched with eroded straw at a rate of 2 tons per acre (unless approved methods (i.e. peg and straw, mulch netting, or rigid mulch binder).
 - Immediately following initial disturbance or rough grading, all critical erosion subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
- Stabilization Specifications:**
- Temporary Seeding and Mulching**
Ground Conditions - Applied uniformly according to soil test recommendations.
Fertilizer - Apply 15 lbs./1,000 sq. ft. of 10-20-10 or equivalent with 50% water soluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
Seed - Apply 100 lbs./1,000 sq. ft. of 2.5 to 4.0 (1,000 lb) or other approved species planted between March 1 and May 15 or between August 15 and October 1.
Mulch - Unwashed straw or hay at a rate of 70 to 90 lbs./1,000 sq. ft. applied to achieve 85% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and straw, mulch netting, or rigid mulch binder).
 - Permanent Seeding and Mulching**
Seed - A uniform application to an average depth of 5", minimum of 4" firmed in place is required.
Ground Conditions - Applied uniformly according to soil test recommendations.
Fertilizer - Apply 15 lbs./1,000 sq. ft. of 10-20-10 or equivalent with 50% water soluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
Seed - Turf type tall fescue (blend of 3 cultivars) 350 lbs./acre (10 lbs./1,000 sq. ft.) or other approved species planted between March 1 and October 1 (permanent seeding requires irrigation).
Mulch - Unwashed straw or hay at a rate of 70 to 90 lbs./1,000 sq. ft. applied to achieve 85% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and straw, mulch netting, or rigid mulch binder).
- The site shall at all times be graded and maintained such that the Siltmaster runoff is diverted to soil erosion and sediment control facilities.
 - Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
 - Siltmaster are not to be located within 50' of a foundation, steps, roadway or drainage facility. The base of all siltmaster shall be contained by a height equal to the height of the siltmaster.
 - A catch basin, which shall comply with the standards of the Department of Environmental Protection, shall be installed at the end of each siltmaster. Said siltmaster will be constructed of 1" - 2" crushed stone, 6" DIA, will be at least 3' x 10' and should be underlain with a suitable synthetic geotextile filter fabric and maintained.
 - Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
 - Driveways must be stabilized with 1" - 2" crushed stone or subbase prior to installed construction.
 - All soil washed, draped, applied or tracked outside the limit of disturbance or onto public right-of-way, will be removed immediately. Paved roadways must be kept clean at all times.
 - Each basin inlet will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
 - Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
 - Dewatering operations must discharge directly into a sediment control bay or other approved filter in accordance with Section 16-1 of the NJ Standards.
 - Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
 - Areas to remain under construction are to be protected with a suitable fence installed at the site line or beyond in accordance with Section 9-1 of the NJ Standards.
 - The project owner shall be responsible for any erosion or sedimentation that may occur below stormwater outlets at off-site as a result of construction of the project.
 - Any revision to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
 - A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
 - The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance. Bergen County SOE, 700 Montross Road, Suite 106, Clarendon, NJ 07014. Tel: 201-261-4400; Fax: 201-261-7513.
 - The Bergen County Soil Conservation District may require additional measures to minimize on- or off-site erosion problems during construction.
 - The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District reserves the right to issue a stop-work order at any time if the contractor fails to comply with the requirements of the approved plan. At site work must be completed, including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

SEQUENCE OF CONSTRUCTION

- INSTALL 20'x40' TRACKING BED AT CONSTRUCTION ENTRANCE
- INSTALL SILT FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION ACCORDING TO PLAN
- INSTALL SILT FILTER PROTECTION WHERE APPLICABLE
- REMOVE TOPSOIL AND STOCKPILE
- PROVIDE ROUGH GRADING FOR SITE
- EXCAVATE FOR NEW BUILDING, DRIVEWAY AND UTILITIES
- CONSTRUCT NEW BUILDING, PROVIDE PERMANENT BASE COURSE ON DRIVEWAY
- PROVIDE FINAL GRADING, HORIZON REPLACEMENT, AND LANDSCAPING. (CURRENTLY APPLY TOPSOIL TO AN AVERAGE DEPTH OF 5", MINIMUM OF 4" FIRMED IN PLACE)
- PROVIDE FINAL FENCING
- REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL SERVICE.



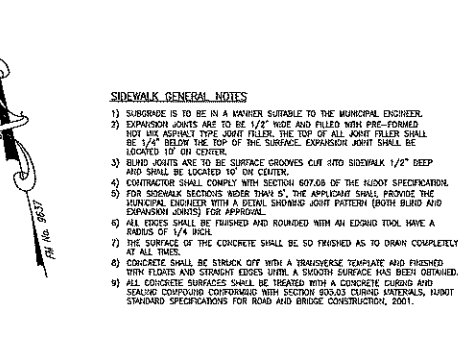
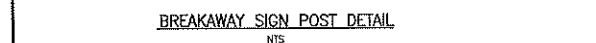
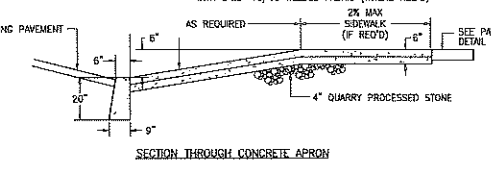
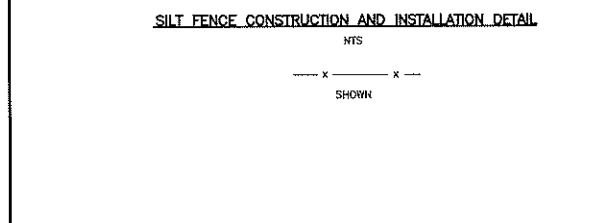
SOIL EROSION & SEDIMENT CONTROL PLAN



SIGN NOTES:

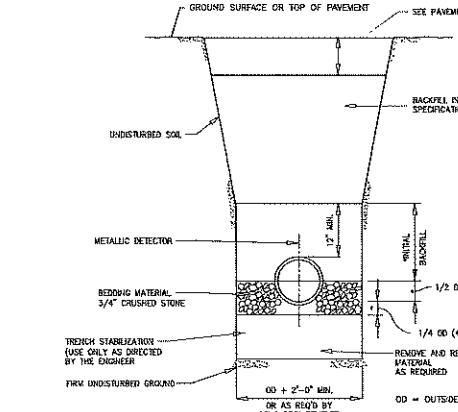
- HANDICAP SIGN TO BE MOUNTED 5' HIGH FROM THE GROUND TO THE BOTTOM OF THE SIGN.

ALL TRAFFIC CONTROL SIGNS MUST CONFORM IN FACE DESIGN (TYPE VI REFLECTIVE SHEETING AND CONSTRUCTION) TO SPECIFICATIONS FOUND IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, U.S. D.O.T., FEDERAL HIGHWAY ADMIN. 2000, AS REVISED. SPECIFICALLY, REGULATORY AND WARNING SIGNS SHALL BE FABRICATED OF FLAT ALUMINUM SHEETS AND SHALL BE COVERED WITH TYPE X (DIAMOND GRADE CUBED) WIDE-ANGLE HIGH PERFORMANCE PRISMATIC RETRO-REFLECTIVE SHEETING SERIES 4090 PER 3M OR EQUIVALENT VISUAL PERFORMANCE.

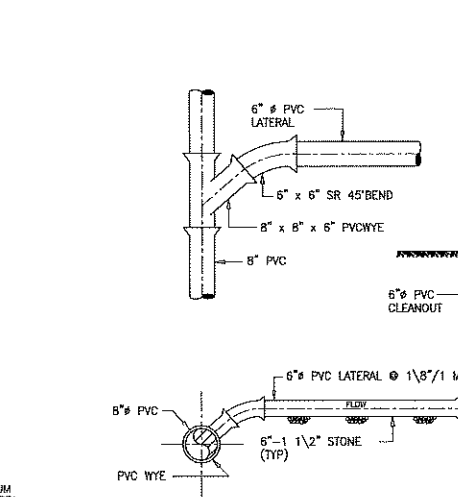


SIDEWALK GENERAL NOTES

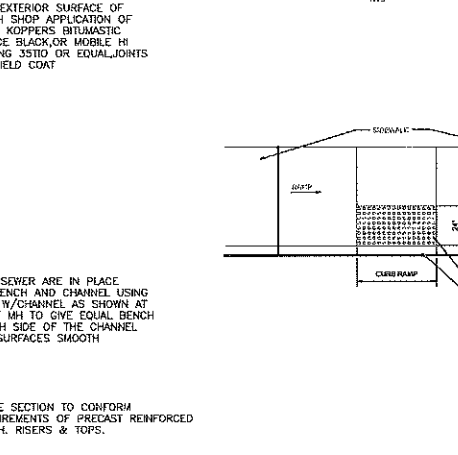
- EXPANSION JOINTS ARE TO BE IN A MINIMUM STABLE TO THE MUNICIPAL ENGINEER.
- EXPANSION JOINTS ARE TO BE 1/4" WIDE AND FILLED WITH PRE-FORMED JOINT FILLER. THE TOP OF ALL JOINT FILLER SHALL BE 1/4" BELOW THE TOP OF THE SURFACE. EXPANSION JOINT SHALL BE LOCATED 10' ON CENTER.
- EXPANSION JOINTS ARE TO BE SURFACE GROOVES CUT INTO SIDEWALK 1/2" DEEP AND SHALL BE LOCATED 10' ON CENTER.
- CONTRACTOR SHALL COMPLY WITH SECTION 603.08 OF THE LATEST SPECIFICATION.
- FOR SIDEWALKS DEEPER THAN 5", THE APPLICANT SHALL PROVIDE THE MUNICIPAL ENGINEER WITH A DETAIL SHOWING JOINT PATTERN (BOTH BLIND AND EXPANSION JOINTS) FOR APPROVAL.
- ALL EDGES SHALL BE FINISHED AND ROUNDED WITH AN EDGING TOOL. HAVE A RADIUS OF 1/4" RICK.
- THE SURFACE OF THE CONCRETE SHALL BE SO FINISHED AS TO DRAIN COMPLETELY AT ALL TIMES.
- CONCRETE SHALL BE STRUCK OFF WITH A TRANSVERSE TEMPLATE AND FINISHED WITH FLATS AND STRONG EDGES UNTIL A SMOOTH SURFACE HAS BEEN OBTAINED.
- ALL CONCRETE SURFACES SHALL BE TREATED WITH A CONCRETE CURING AND SEALING COMPOUND CONFORMING WITH SECTION 603.03 CURING MATERIALS, LATEST STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2001.



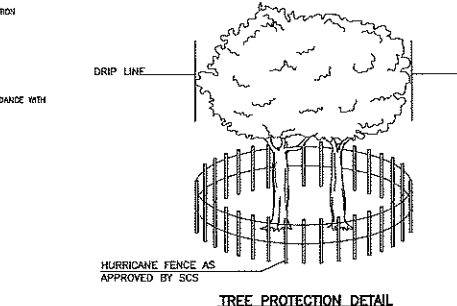
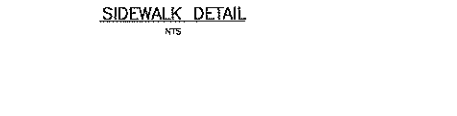
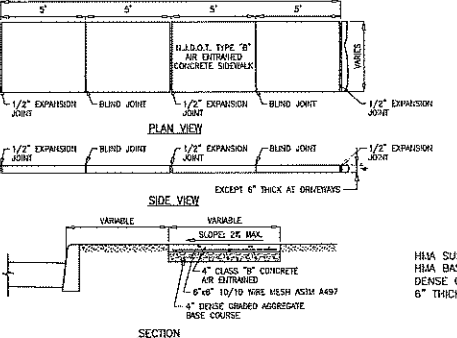
SDR - 35 PVC SANITARY SEWER TRENCH DETAIL



HOUSE LATERAL AND CLEANOUT DETAIL



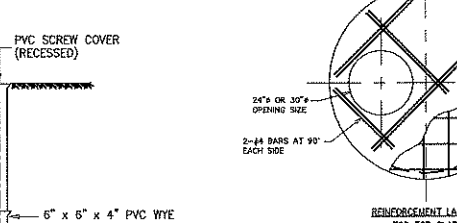
SANITARY MANHOLE DETAIL



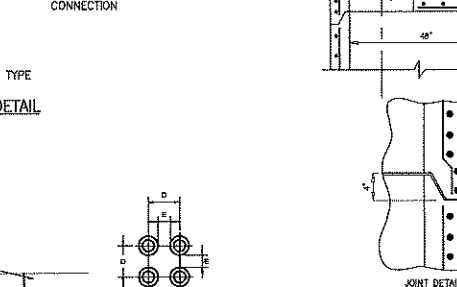
TREE PROTECTION DETAIL



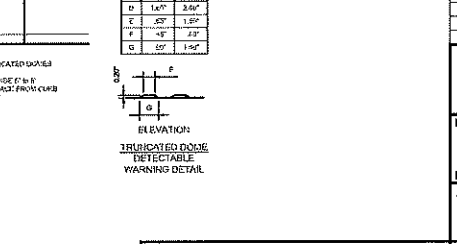
STREET CURB DETAIL



DOGHOUSE MANHOLE

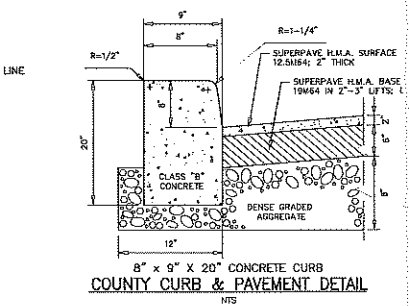
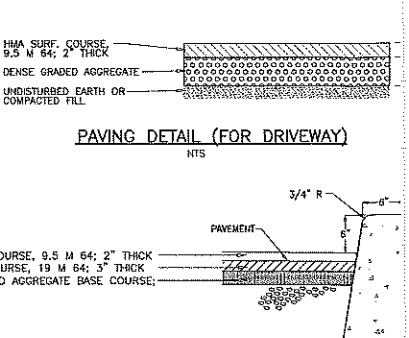


REINFORCEMENT LAYOUT FOR TOP SLAB

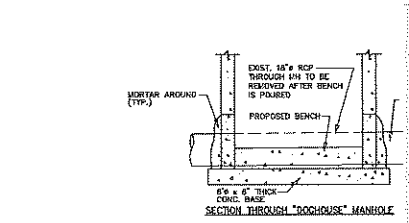


DOGHOUSE MANHOLE

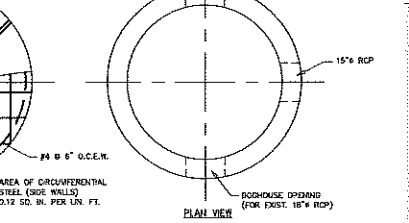
SOIL EROSION EXEMPTION NOTE:
THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS IN AN URBAN REDEVELOPMENT AREA.



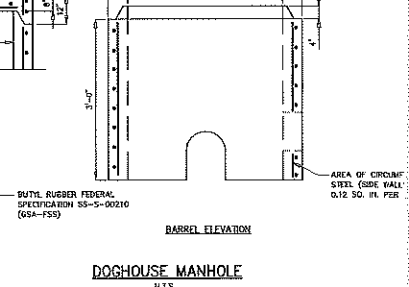
TREE PROTECTION DETAIL



STREET CURB DETAIL



REINFORCEMENT LAYOUT FOR TOP SLAB



DOGHOUSE MANHOLE

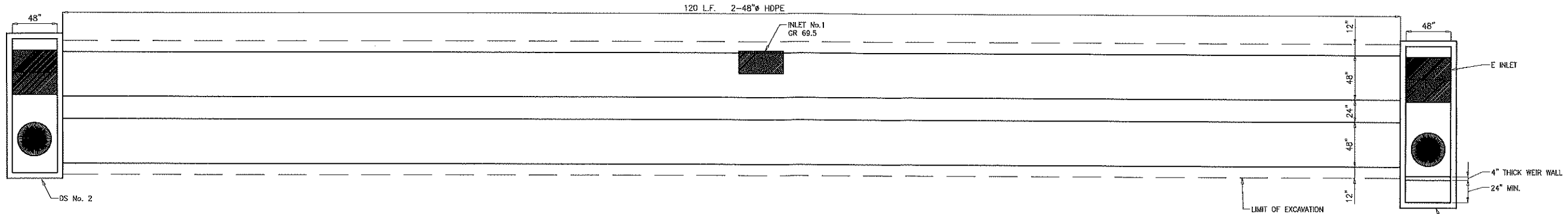
NO.	REVISIONS	DATE	BY
1	MODIFIED BUILDING & SITE LAYOUT	5-1-20	NLS

SOIL EROSION & SEDIMENT CONTROL PLAN DETAILS

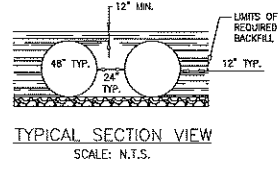
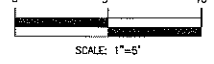
LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
 No. 145 WEST MAIN STREET
 BOROUGH OF BERGENFIELD BERGEN COUNTY

APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPRIZZI, ESQ.
 11 HILLSIDE AVENUE, 2ND FL.
 TENAFLY, NJ 07670

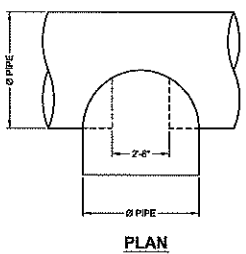
MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200



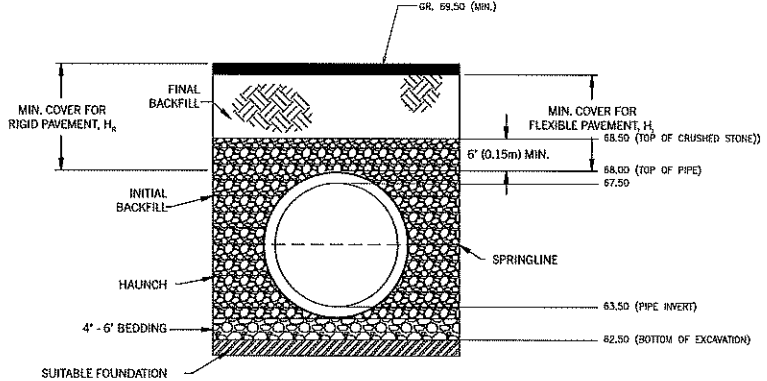
DENTENTION SYSTEM PLAN



TYPICAL SECTION VIEW
SCALE: N.T.S.

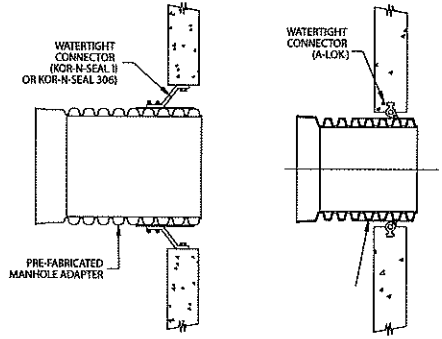


FRONT TYPICAL MANWAY DETAIL
SCALE: N.T.S.

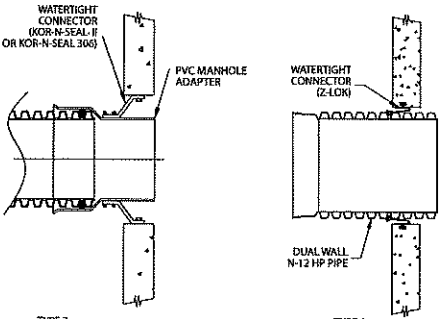


FILL AS SPECIFIED BY DESIGN ENGINEER
 STRUCTURAL BACKFILL (COMPACTED CLASS I, II, OR III MATERIAL)
 $H_1, H_2 = 12"$ FOR PIPE DIAMETERS UP TO 48"
 $= 24"$ FOR PIPE DIAMETERS 54" AND 60"
 TOTAL MINIMUM COVER INCLUDES 6" OF STRUCTURAL BACKFILL ABOVE THE PIPE CROWN AND THE FINAL FILL

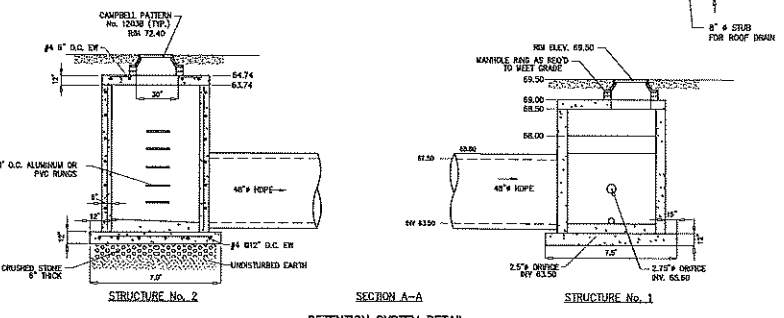
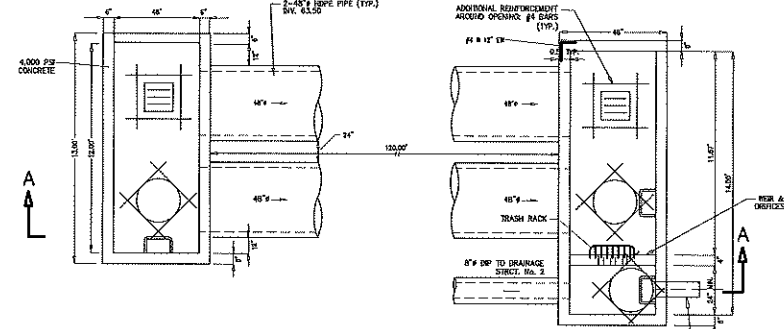
HDPE PIPE BACKFILL DETAIL
NOT TO SCALE



TYPE 1 WATER TIGHT USING PRE-FABRICATED ADAPTER

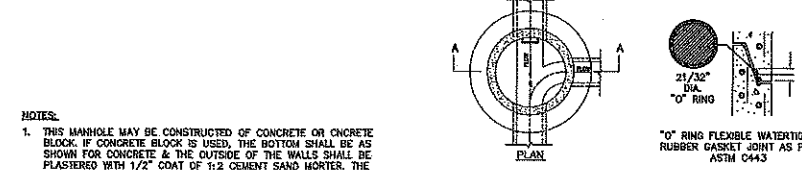


TYPE 2 WATER TIGHT USING MECHANICAL CONNECTOR

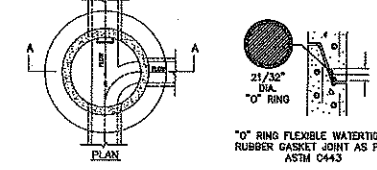


DETENTION SYSTEM DETAIL

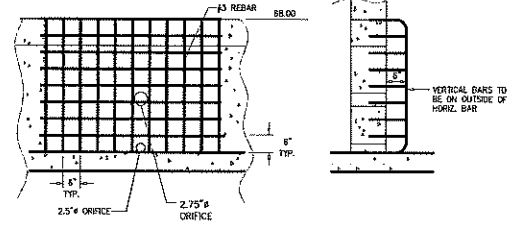
HDPE PIPE CONNECTION TO MANHOLE DETAIL
NOT TO SCALE



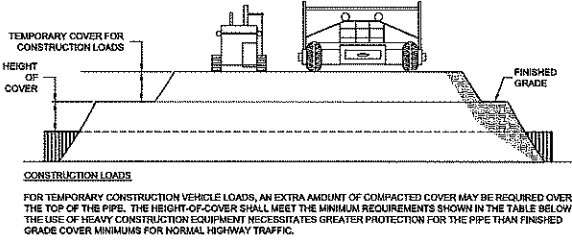
- NOTES:**
- THIS MANHOLE MAY BE CONSTRUCTED OF CONCRETE OR CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALLS JOINTS SHALL BE STRUCK & POINTED.
 - PROVIDE 7/8" DIA. X 7' X 12" ALUMINUM LADDER RUNGS, 12" O.C.
 - WHEN DEPTH IS GREATER THEN 12' THE WALLS SHOULD BE EITHER 8" CONCRETE OR 8" CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
 - WHEN PRECAST STRUCTURES ARE USED, CLEAN STONE SHALL BE PLACED BEHEATH STRUCTURE TO A DEPTH OF 8".



PLAN

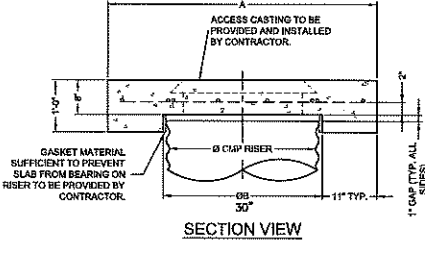


TRASH RACK DETAIL



FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

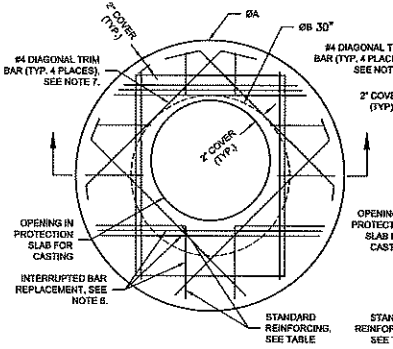
Temporary Cover Requirements for Light Construction Traffic			
Type of Vehicle	Vehicular Load at Surface psi (kPa)	Temporary Minimum Cover, in. (mm) for:	
		4" - 48" (100-1200mm) diameters	54" - 60" (1350 and 1500mm) diameters
Semi-tractor ¹	75 (517)	9 (230)	12 (300)
Loaded pick-up truck ²	50 (345)	6 (150)	9 (230)
Skid steer loader ³	25 (172)	3 (80)	6 (150)



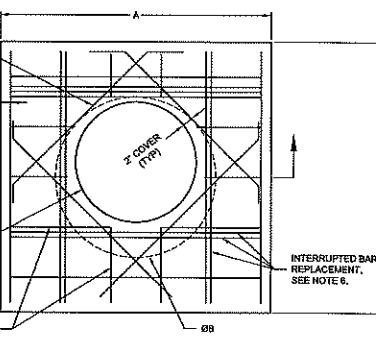
SECTION VIEW

REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
30"	Ø 4'-0"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
36"	Ø 4'-0"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
42"	Ø 4'-0"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
48"	Ø 4'-0"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
54"	Ø 4'-0"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
60"	Ø 4'-0"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530

** ASSUMED SOIL BEARING CAPACITY



ROUND OPTION PLAN VIEW



SQUARE OPTION PLAN VIEW

- NOTES:**
- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
 - DESIGN LOAD HS25.
 - EARTH COVER = 1' MAX.
 - CONCRETE STRENGTH = 3,000 psi
 - REINFORCING STEEL = ASTM A615, GRADE 60.
 - PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
 - TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
 - PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.

MANHOLE CAP DETAIL
SCALE: N.T.S.

SHALLOW DRAINAGE MANHOLE DETAIL

NO.	DESCRIPTION	DATE	BY
1	MODIFIED BUILDING & SITE LAYOUT	3-1-20	NHL
	REVISIONS		

STORMWATER MANAGEMENT DETAIL

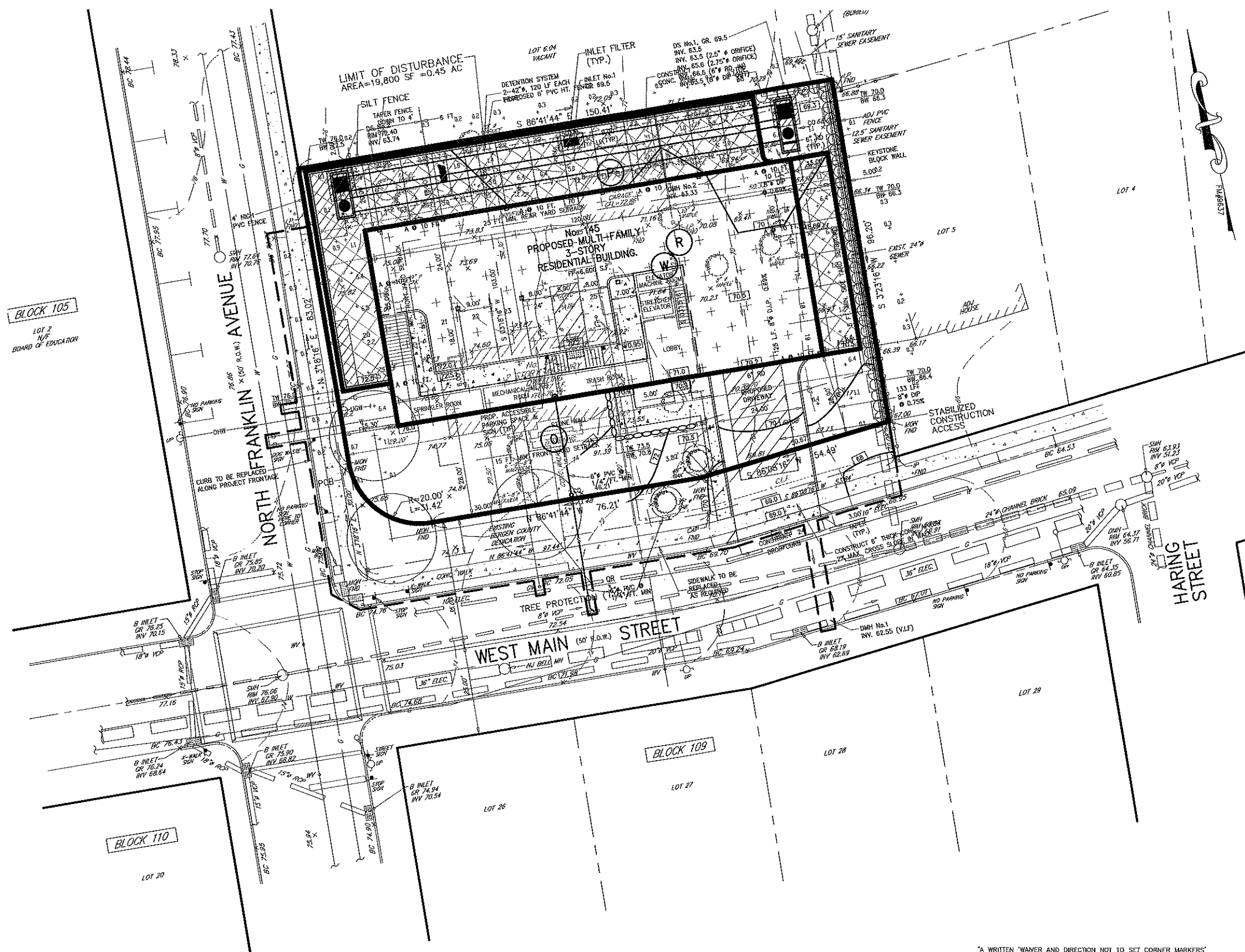
LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
 No. 145 WEST MAIN STREET
 BOROUGH OF BERGENFIELD BERGEN COUNTY
 APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CARIZZI, ESQ.
 11 HILLSIDE AVENUE, 2ND FL.
 TENAFLY, NJ 07670

MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

h HUBSCHMAN ENGINEERING, P.A.
 ENGINEERS - PLANNERS - SURVEYORS

DRAWN BY: B.N.
 CHKD BY: NJH
 SCALE: AS
 DRAWING NO.: 3821-4

BLOCK 105
LOT 2
N.P.
BOARD OF EDUCATION



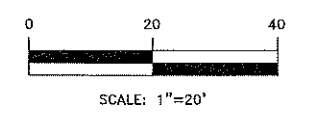
ZONING NOTES
R-5 ZONE

	REQUIRED
MIN. LOT AREA	5,000 S.F.
MIN. LOT WIDTH	50.00 FT.
MAX. IMPROVED LOT COVERAGE	40%
MAX. LOT COVERAGE	40%
MAX. BUILDING HEIGHT	2 STY / 28FT
MIN. FRONT YARD	15/25 FT.
MIN. SIDE YARD ONE	5.00 FT.
MIN. SIDE YARD BOTH	10.00 FT.
MIN. REAR YARD	25.00 FT.

NOTE: ELEVATIONS BASED ON NGVD 1929

REFERENCES

- 1) A CERTAIN MAP ENTITLED "SOUTH PRESBYTERIAN CHURCH, MAJOR SUBDIVISION PLAN, BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO AS MAP No. 9637
- 2) BOROUGH OF BERGENFIELD TAX MAP



"A WRITTEN 'WAIVER AND DIRECTION NOT TO SET CORNER MARKERS' HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L.2003, c.14(C450B-36.3) AND N.J.A.C. 13:40-5.1(d). THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITION FOUND AT, AND AS OF DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD FACILITIES, WETLANDS OR ENVIRONMENTAL RESTRICTIONS OTHER THAN

"SURVEY INSPECTIONS" OR "UPDATES" OF THIS MAP ARE PROHIBITED. THIS MAP MAY NOT BE COPIED IN WHOLE OR IN PART. THIS MAP MAY NOT BE USED FOR OTHER PURPOSES OR TRANSACTIONS. THIS MAP WAS PREPARED FOR A SPECIFIC TRANSACTION INVOLVING ONLY THE PARTIES 'CERTIFIED TO' ON THIS MAP. ONLY COPIES OF THIS MAP BEARING THE EMBOSSED SEAL OF ROBERT J. MUELLER ARE VALID. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

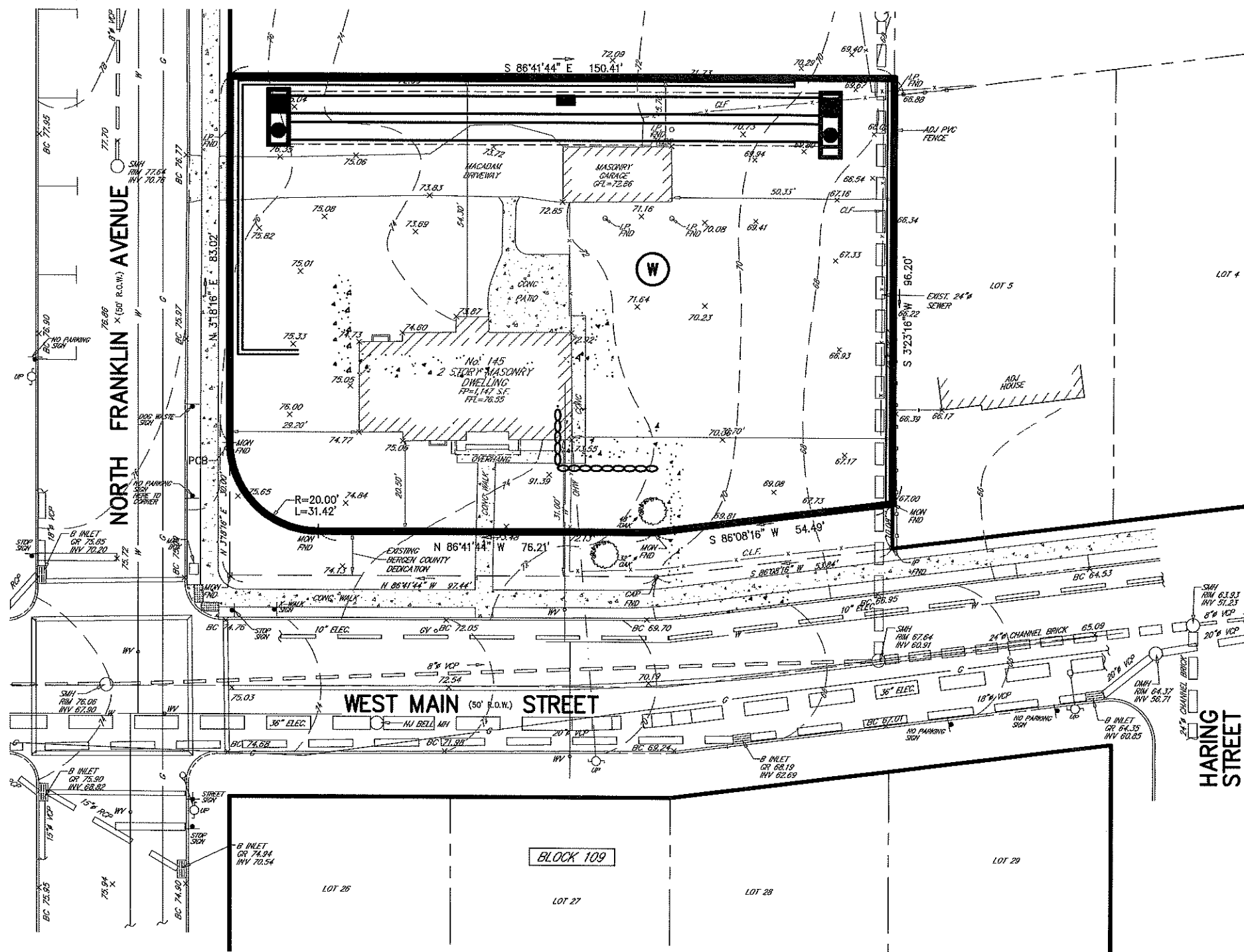
TAX LOT 6 IN BLOCK 106

TOPOGRAPHIC SURVEY
BOROUGH OF BERGENFIELD
BERGEN COUNTY, NEW JERSEY

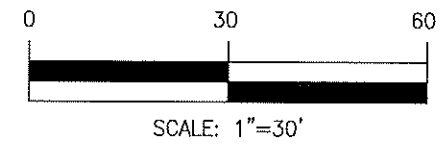
HUBSCHMAN ENGINEERING
ENGINEERS LAND SURVEYORS PLANNERS
263A S. WASHINGTON AVE., BERGENFIELD
NEW JERSEY 07621 (201) 384-5666

ROBERT J. MUELLER, P.L.S.
PROFESSIONAL LAND SURVEYOR
N.J. LIC. 37206

REV.	DWN. MZ	9-19-19	JOB No.
	CHK'D. RJM	SCALE: 1"=20'	3821



EXISTING DRAINAGE AREAS			
Drainage Area	Impervious Area (sf.)	Pervious Area (sf.)	Total Area (sf.)
W	2,976	12,239	15,215
Total	2,976	12,239	15,215



NO.	REVISIONS	DATE	BY

DRAINAGE AREA MAP – EXISTING

LOTS 6.01, 6.02 & 6.03 BLO

PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET

BOROUGH OF BERGENFIELD BERGEN COUNTY NEW

APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPIZZI, ESQ.
 11 HILLSIDE AVENUE, 2ND FL.
 TENAFLY, NJ 07670

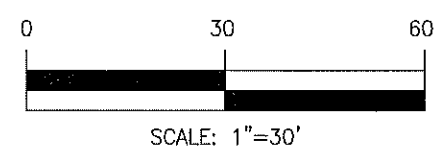
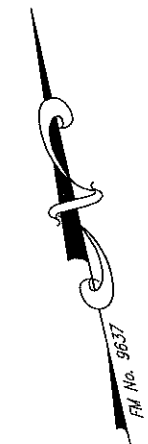
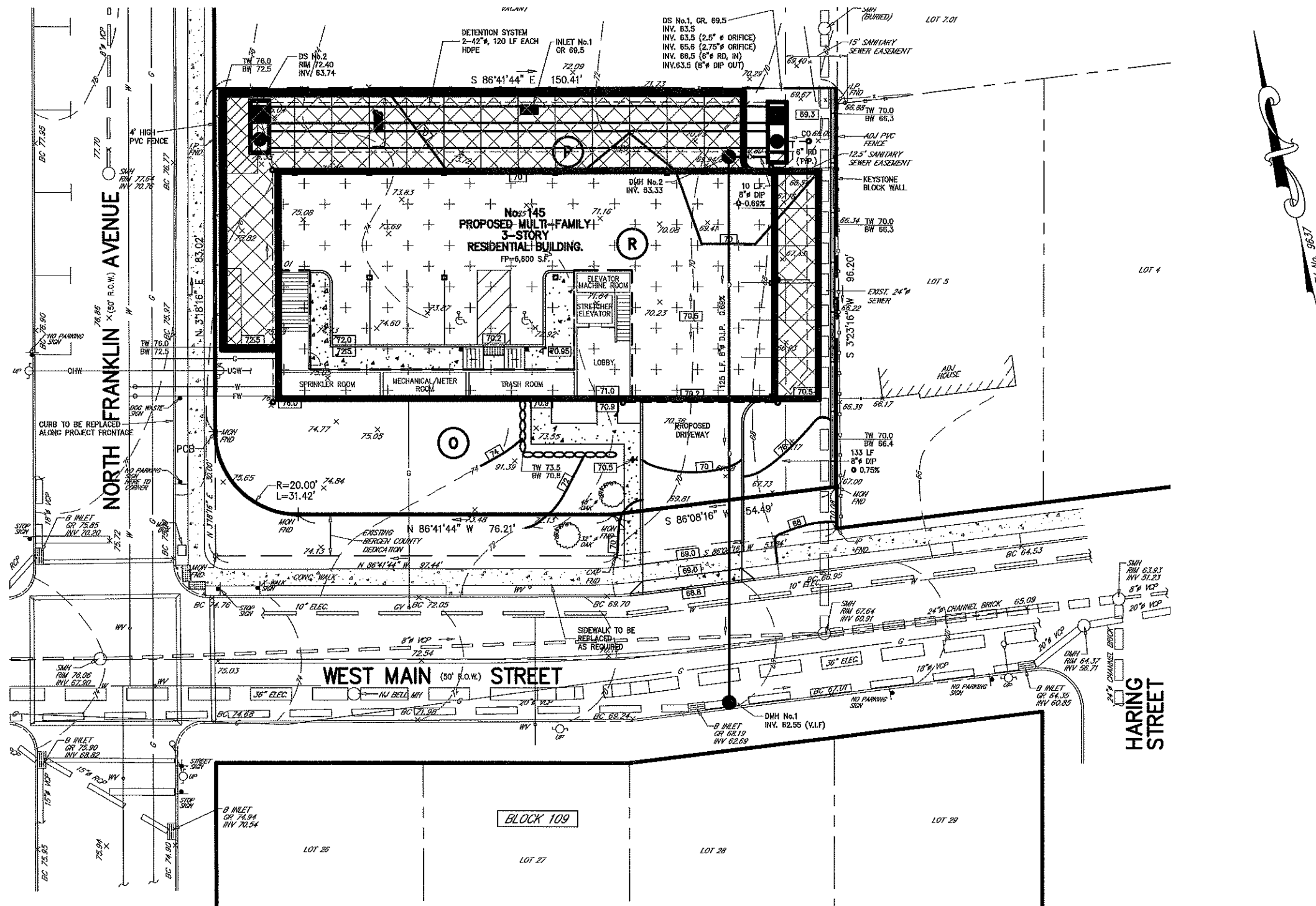
MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

1-8-20
DATE

HUBSCHMAN ENGINEERING, P.A.

ENGINEERS – PLANNERS – SURVEYORS
 263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
 201-384-5666

DRAWN BY: N.M.
CHKD BY: MJH
SCALE: AS SHD
DRAWING NO.
3821-6
 1 OF 2




NO.	REVISIONS	DATE	BY
1	MODIFIED BUILDING & SITE LAYOUT	4-16-20	N.M.

DRAINAGE AREA MAP – PROPOSED

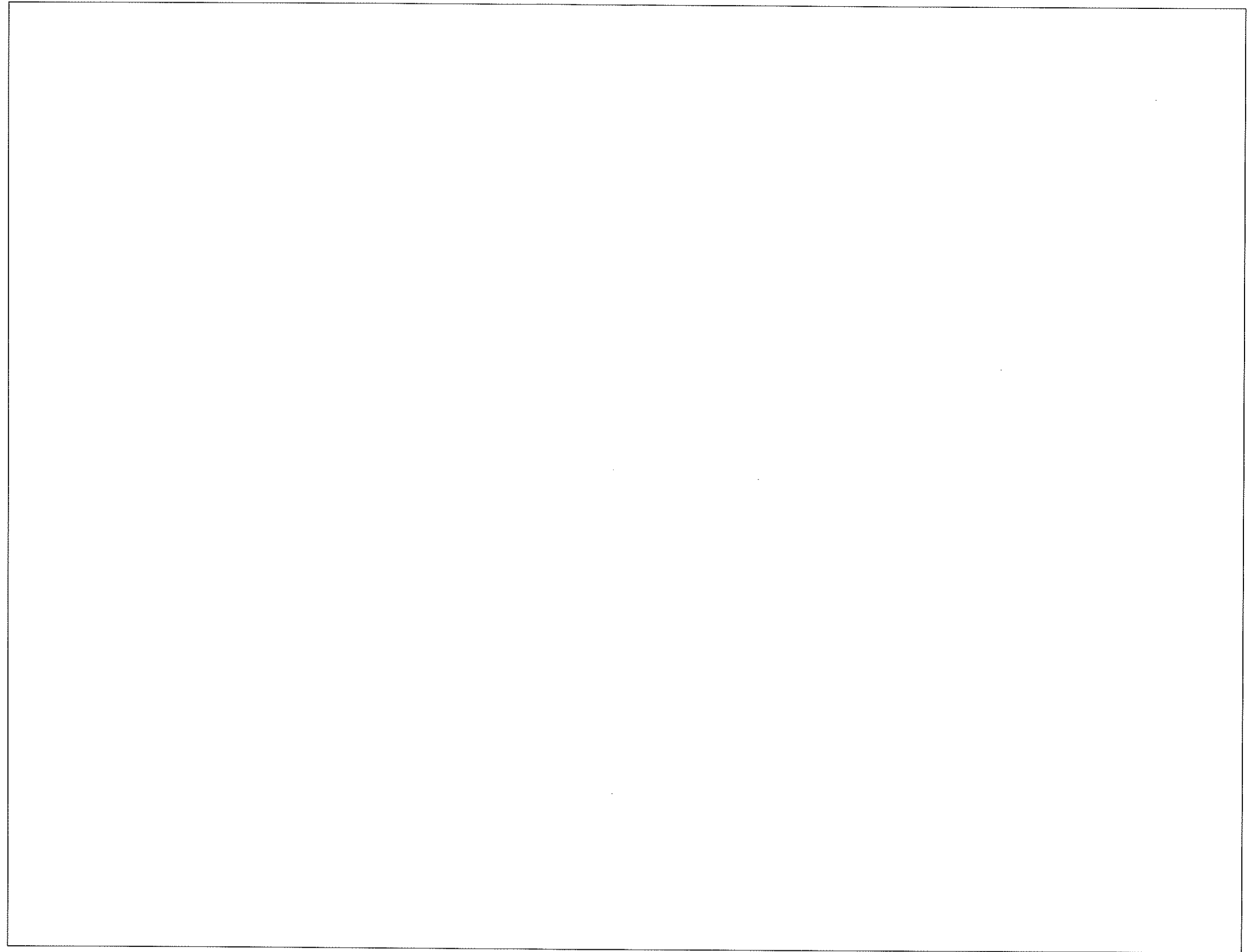
LOTS 6.01, 6.02 & 6.03
PROPOSED RESIDENTIAL BUILDING
No. 145 WEST MAIN STREET
 BOROUGH OF BERGENFIELD BERGEN COUNTY
 APPLICANT: 145 WEST MAIN STREET, LLC
 C/O MATTHEW CAPIZZI, ESQ.
 11 HILLSIDE AVENUE, 2ND FL.
 TENAFLY, NJ 07670

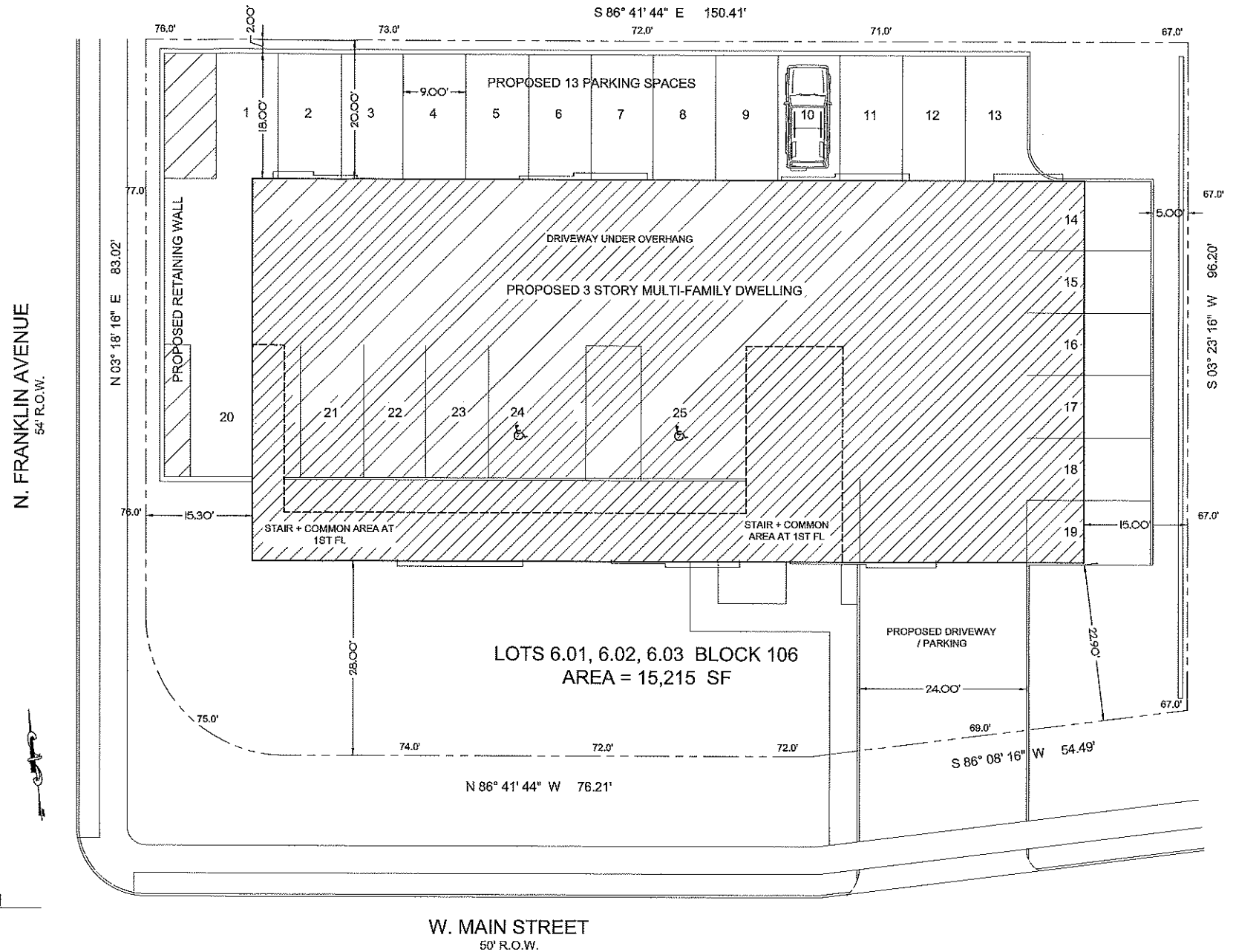
MICHAEL J. HUBSCHMAN P.E., P.P.
 PROFESSIONAL ENGINEER AND PLANNER
 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200


HUBSCHMAN ENGINEERING, P.A.
 ENGINEERS – PLANNERS – SURVEYORS
 263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
 201-384-5666

DRAWN BY: N.M.
 CHKD BY: MJH
 SCALE: AS SHOWN
 DRAWING NO.
3821-7
 2 OF 2

1-8-20
DATE





(S) SITE PLAN
 1" = 10'-0"

INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN FROM A PROPERTY SURVEY FURNISHED TO THE ARCHITECT BY THE PROPERTY OWNER. HUBSCHMAN ENGINEERING, ENGINEERS, LAND SURVEYORS, + PLANNERS, BERGENFIELD, NJ - ROBERT J. MUELLER P.L.S., LIC NO 37206 - DATED X/XX/XXXX

BUILDING DATA:

PARKING LEVEL:	0- 1 BEDROOM UNITS	0- 2 BEDROOM UNITS
1ST FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS
2ND FLOOR:	6- 1 BEDROOM UNITS	2- 2 BEDROOM UNITS

PARKING DATA:

1 BEDROOM UNIT:	12 X 18 = 216 SPACES
2 BEDROOM UNIT:	4 X 20 = 8 SPACES

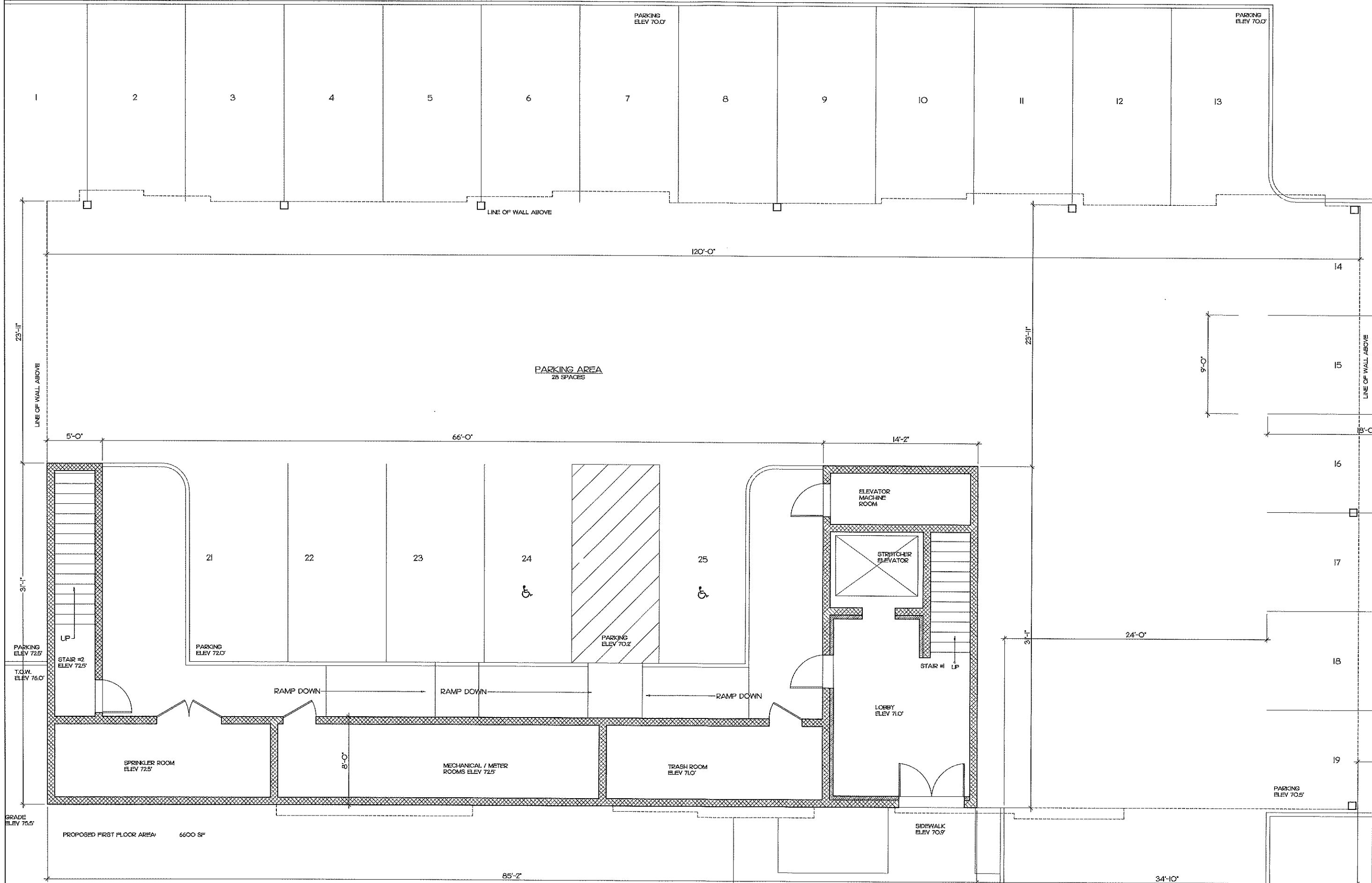
TOTAL: 30 SPACES REQUIRED, 25 SPACES PROVIDED

ELECTRICAL LEGEND

☉	• SURFACE MOUNT LIGHT FIXTURE	⚡	• SINGLE POST ELECTRICAL SWITCH
⊗	• 6" DIA. (LIGN) RECESSED FIXTURE	⚡	• THREE WAY SWITCH
⊕	• WALL MOUNTED LIGHT FIXTURE	⚡	• DUPLEX RECEPTACLE OUTLET
⚡	NEW OR EXIST SMOKE ALARM INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP	⚡	• GROUND FAULT INTERRUPT RECEPTACLE OUTLET
⚡	NEW OR EXIST CARBON MONOXIDE DETECTOR, INTERCONNECTED + HARD-WIRED W/ BATTERY BACKUP	⚡	• WATER PROOF RECEPTACLE OUTLET
⚡	• SURFACE MOUNT FAN / LIGHT FIXTURE	⚡	NEW OR EXIST EXHAUST FAN, 80 CFM • 3 FIXTURES, 110CFM • 4 FIXTURES
		⚡	NEW CABLE TV OUTLET FOR CABLE TV, INTERNET
		⚡	NEW TELEPHONE OUTLET - VERIFY TYPE + LOCATION WITH OWNER

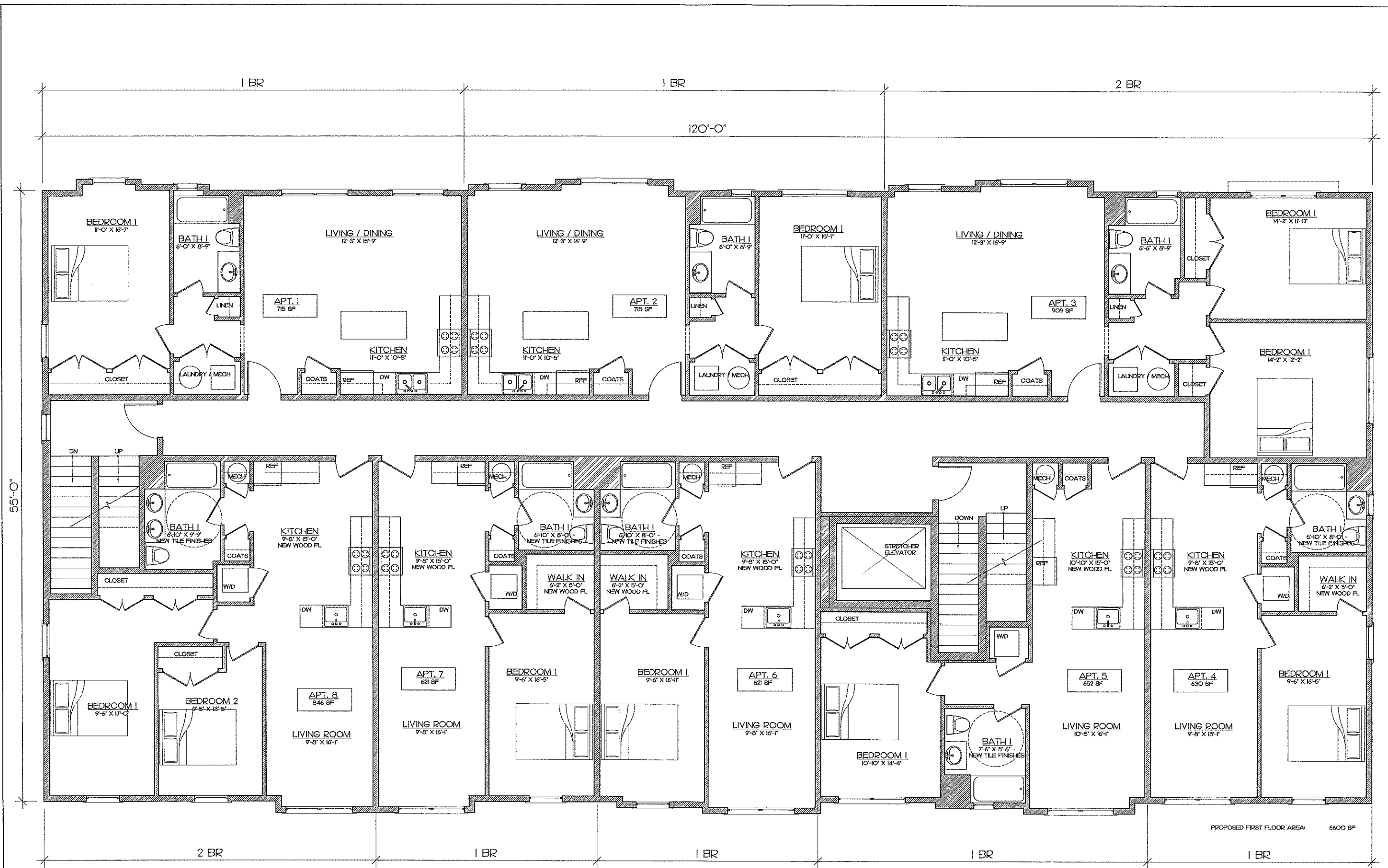
LEGEND

▬	EXISTING 2 X 4 WOOD CONSTRUCTION TO REMAIN
▬	EXISTING 2 X 4 WOOD CONSTRUCTION TO BE REMOVED
▬	NEW 2 X 4 OR 2 X 6 WOOD CONSTRUCTION, 16' OC (LIGN)
▬	EXISTING CONCRETE CONSTRUCTION TO REMAIN
▬	EXISTING CONCRETE CONSTRUCTION TO BE REMOVED
▬	NEW POURED OR MASONRY CONC CONSTRUCTION
⋯	FLOOR ABOVE OR BELOW
←	NEW JOISTS, RAFTERS, ETC.
←	NEW GIRDERS, RIDGEBEAMS, ETC.



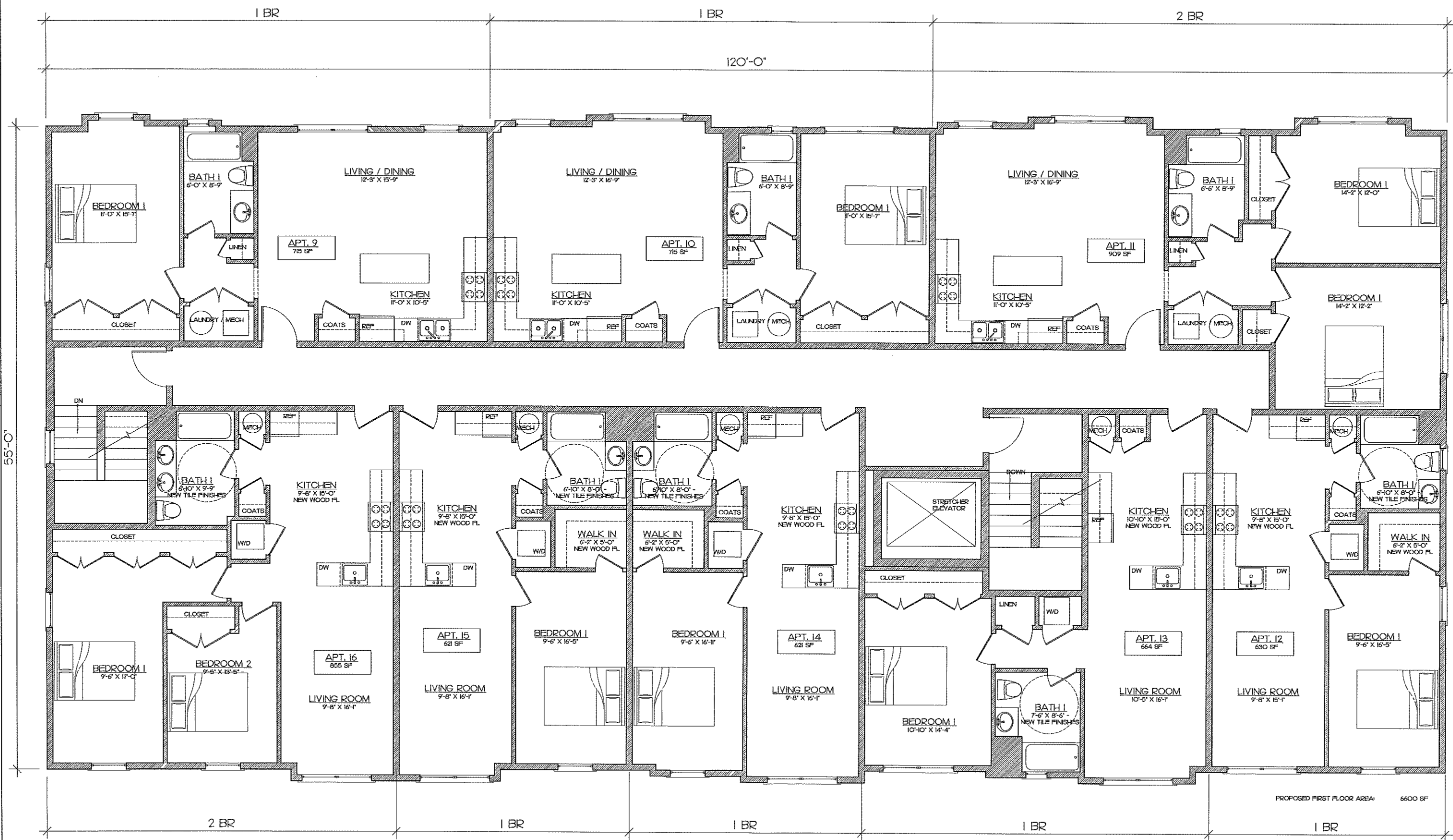
(B) PROPOSED BASEMENT / PARKING LEVEL PLAN
 1/4" = 1'-0"

#	Date	Revision
1		New Construction for:
Multi Family B		
Block: 106 Lot: 6.01, 6.02, 6.03, 6.04, 6.05, 6.06, 6.07, 6.08, 6.09, 6.10, 6.11, 6.12, 6.13, 6.14, 6.15, 6.16, 6.17, 6.18, 6.19, 6.20, 6.21, 6.22, 6.23, 6.24, 6.25, 6.26, 6.27, 6.28, 6.29, 6.30, 6.31, 6.32, 6.33, 6.34, 6.35, 6.36, 6.37, 6.38, 6.39, 6.40, 6.41, 6.42, 6.43, 6.44, 6.45, 6.46, 6.47, 6.48, 6.49, 6.50, 6.51, 6.52, 6.53, 6.54, 6.55, 6.56, 6.57, 6.58, 6.59, 6.60, 6.61, 6.62, 6.63, 6.64, 6.65, 6.66, 6.67, 6.68, 6.69, 6.70, 6.71, 6.72, 6.73, 6.74, 6.75, 6.76, 6.77, 6.78, 6.79, 6.80, 6.81, 6.82, 6.83, 6.84, 6.85, 6.86, 6.87, 6.88, 6.89, 6.90, 6.91, 6.92, 6.93, 6.94, 6.95, 6.96, 6.97, 6.98, 6.99, 7.00		
145 Main Street Bergenfield, New Jersey		
BASEMENT FLOOR PLAN		
Scale: 1/4" = 1'-0"		
Date: MAY 1, 2020		
Submission: ZONING AP		
Indemnification Clause: The owner shall release, hold harmless, defend and indemnify the Architect with respect to any claims, damages, losses, or expenses, including reasonable attorneys' fees, incurred by or on behalf of the Contractor in any aspect of the work, whether or not caused in whole or in part by the negligence of the Contractor to be built in accordance with the documents.		



① PROPOSED FIRST FLOOR PLAN
 1/4" = 1'-0"

#	Date	Revision
		New Construction for:
Multi Family Bu		
Block: 106 Lot: 6.01, 6.02, 6.03, 6.04, 6.05, 6.06, 6.07, 6.08, 6.09, 6.10, 6.11, 6.12, 6.13, 6.14, 6.15, 6.16, 6.17, 6.18, 6.19, 6.20, 6.21, 6.22, 6.23, 6.24, 6.25, 6.26, 6.27, 6.28, 6.29, 6.30, 6.31, 6.32, 6.33, 6.34, 6.35, 6.36, 6.37, 6.38, 6.39, 6.40, 6.41, 6.42, 6.43, 6.44, 6.45, 6.46, 6.47, 6.48, 6.49, 6.50, 6.51, 6.52, 6.53, 6.54, 6.55, 6.56, 6.57, 6.58, 6.59, 6.60, 6.61, 6.62, 6.63, 6.64, 6.65, 6.66, 6.67, 6.68, 6.69, 6.70, 6.71, 6.72, 6.73, 6.74, 6.75, 6.76, 6.77, 6.78, 6.79, 6.80, 6.81, 6.82, 6.83, 6.84, 6.85, 6.86, 6.87, 6.88, 6.89, 6.90, 6.91, 6.92, 6.93, 6.94, 6.95, 6.96, 6.97, 6.98, 6.99, 7.00		
145 Main Street Bergenfield, New Jersey		
FIRST FLOOR PLAN		
Scale: 1/4" = 1'-0"		
Date: MAY 1, 2020		
Submission: ZONING APPL		
Indemnification Clause: The owner shall release, hold harmless, defend and indemnify the Architect with respect to any changes or changes in any aspect of the work, or Contractor to build in accordance with documents.		



2 PROPOSED SECOND FLOOR PLAN
 1/4" = 1'-0"

#	Date	Revision

New Construction for:

Multi Family Bu
 Block: 106 Lot: 6.01, 6.
 145 Main Street
 Bergenfield, New Jersey

SECOND FLOOR PLAN

Scale: 1/4" = 1'-0"

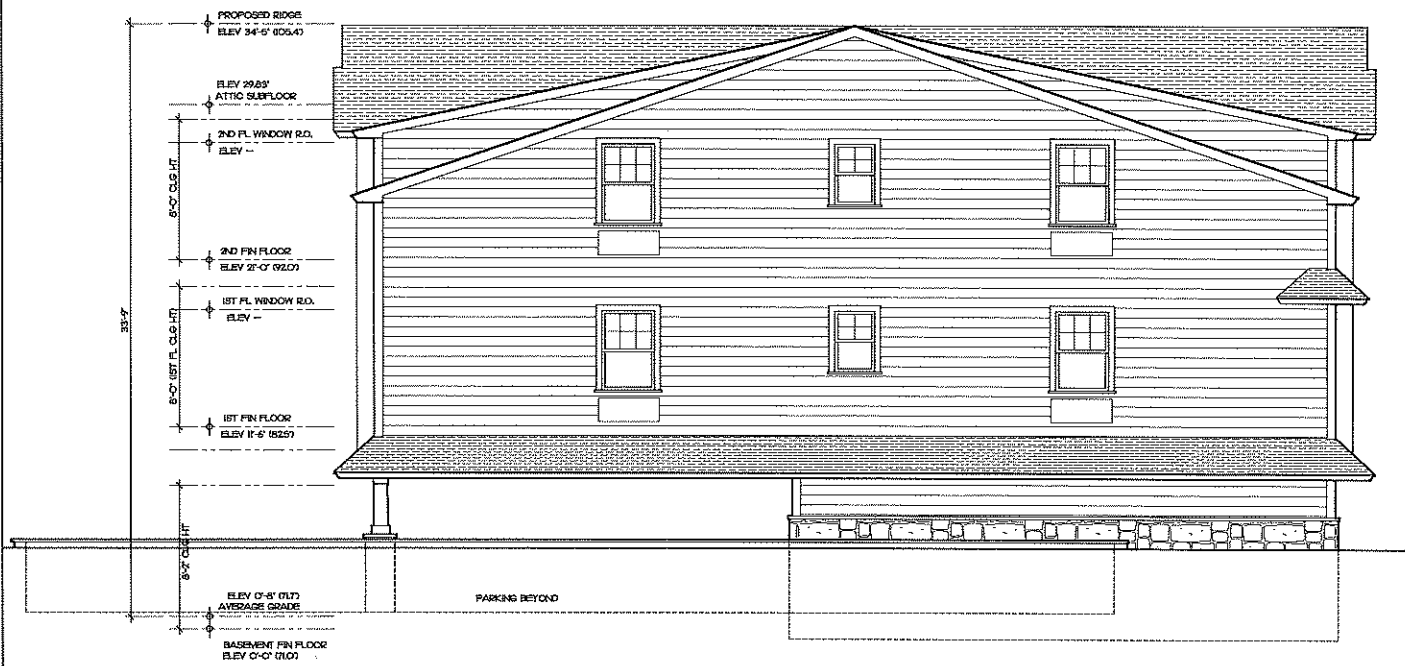
Date: MAY 1, 2020

Submission: ZONING APP

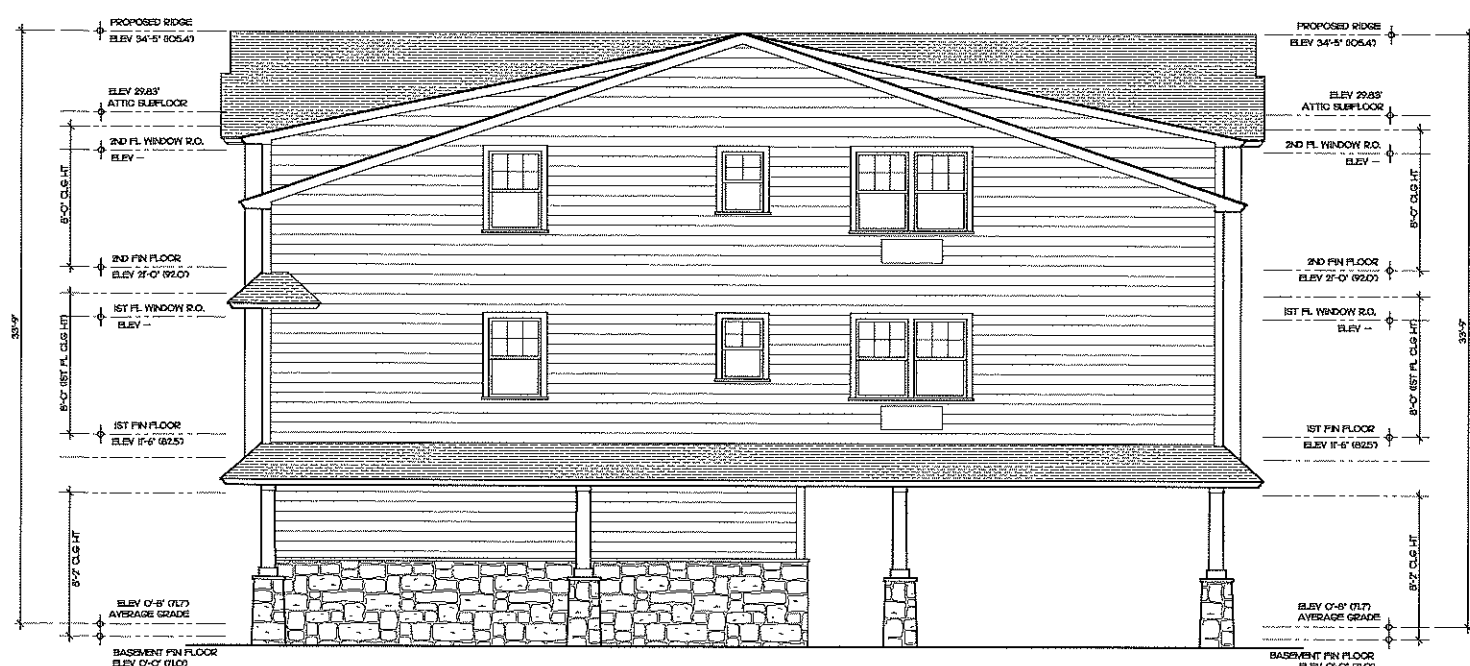
Indemnification Clause:
 The owner shall release, hold harmless
 Architect with respect to; any changes
 constructive documents by anyone other
 or changes in any aspect of the work, or
 Contractor to build in accordance with
 documents.



3 PROPOSED FRONT MAIN STREET ELEVATION
 3/16" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
 3/16" = 1'-0"



6 PROPOSED RIGHT SIDE ELEVATION
 3/16" = 1'-0"

#	Date	Revision
		New Construction for:
		Multi Family Bu
		Block: 106 Lot: 6.01, 6.02
		145 Main Street
		Bergenfield, New Jersey
ELEVATIONS		
Scale: 3/16" = 1'-0"		
Date: MAY 1, 2020		
Submission: ZONING APP		
Indemnification Clause: The owner shall release, hold harmless, Architect with respect to any changes in construction documents by anyone other than the Architect or any changes in or changes in any aspect of the work, or Contractor to build in accordance with documents.		



5 PROPOSED REAR ELEVATION
 3/16" = 1'-0"

#	Date	Revision
		New Construction for:
		Multi Family B
		Block: 106 Lot: 6.01, 6
		145 Main Street
		Bergenfield, New Jersey
		ELEVATIONS
		Scale: 3/16" = 1'-0"
		Date: MAY 1, 2020
		Submission: ZONING AP
		Indemnification Clause: The owner shall release, hold harmless Architect with respect to: any change construction documents by anyone of or changes in any aspect of the work, Contractor to build in accordance with documents.