



Construction Code Dept.  
Code Enforcement Office  
Zoning & Planning Offices  
(201) 387-4055 ext. 1-4092  
Fax: 201-385-7376

**BOROUGH OF BERGENFIELD  
COUNTY OF BERGEN**

**APPLICATION FOR SUBDIVISION**

MUST BE MADE OUT IN TRIPLICATE AND SUBMITTED AT LEAST THIRTY  
(30) DAYS PRIOR TO PLANNING BOARD MEETING  
APPLICATION MUST BE ACCOMPANIED BY AN ORIGINAL AND EIGHTEEN  
(18) COPIES OF A SKETCH PLAT SHOWING ALL EXISTING STRUCTURES  
WITHIN THE PORTION TO BE SUBDIVIDED AND WITHIN 200' THEREOF

DATE 3/19/20

- Application is hereby made for approval of the subdivision of land as herein described and shown on accompanying plat.
1. Applicant's Name The Porada Development Group LLC Phone 201-463-6607  
Address 710 Newcomb Road, Ridgewood, NJ 07450
  2. If applicant is a partnership, corporation or company, give name and address of the principal  
Steven Porada - see above address
  3. Property Owner's name (if other than #1 above) Dagmar B. Libonati  
Address 111 Hallberg Ave., Bergenfield, NJ Phone c/o Linda #201-838-2350
  4. Interest of applicant if other than owner Contract purchaser
  5. Description of land to be subdivided: (a) Block 219 Lot (s) 20  
(b) Address 111 Hallberg Avenue, Bergenfield, NJ 07621  
(c) Give size of original plot 12,500 SF  
(d) Give size of lots after subdivision 6,250 SF  
(e) Are the following utilities existing:  
Paved streets  Curbs  Sidewalks No  
Sanitary Sewers  Water  Electric   
Storm Sewers No Gas
  - (f) What is the zoning of the property R-5
  - (g) Are there any existing structures on the property Yes  
Type Single Family Home If dwelling, how many families 1
  6. What is the purpose of the subdivision request subdivide existing 12,500 SF lot into 2 lots  
6,250 SF lots, each featuring a single family home.
  7. Name & address of person preparing sketch plat: (Plat must be drawn by a licensed engineer or  
land surveyor): Name Thomas G. Stearns III, PE, LS  
Address GB Engineering, LLC 444 Jewell St., Garfield, NJ 07026 Phone 973-340-0948
  8. Signature of applicant [Signature]  
Signature of property owner if other than applicant \_\_\_\_\_

**FOR OFFICE USE ONLY**

Application received \_\_\_\_\_ Fee of \$ \_\_\_\_\_ paid  
Referred to members of Subdivision Committee on \_\_\_\_\_  
If County approval is required, referred to County Planning Board on \_\_\_\_\_  
Was approved \_\_\_\_\_ Disapproved \_\_\_\_\_  
Declared to be a major/minor subdivision on \_\_\_\_\_ at a meeting of the  
Bergenfield Planning Board held on \_\_\_\_\_ the above request for a subdivision  
was approved \_\_\_\_\_ rejected \_\_\_\_\_ held over for additional information \_\_\_\_\_  
Comments: \_\_\_\_\_



Construction Code Dept.  
Code Enforcement Office  
Zoning & Planning Offices  
(201) 387-4055 ext. 1-4092  
Fax: 201-385-7376

**BOROUGH OF BERGENFIELD  
COUNTY OF BERGEN**

**APPLICATION FOR SUBDIVISION**

**MUST BE MADE OUT IN TRIPLICATE AND SUBMITTED AT LEAST THIRTY (30) DAYS PRIOR TO PLANNING BOARD MEETING. APPLICATION MUST BE ACCOMPANIED BY AN ORIGINAL AND EIGHTEEN (18) COPIES OF A SKETCH PLAT SHOWING ALL EXISTING STRUCTURES WITHIN THE PORTION TO BE SUBDIVIDED AND WITHIN 200' THEREOF.**

DATE 3/19/20

Application is hereby made for approval of the subdivision of land as herein described and shown on accompanying plat:

1. Applicant's Name The Forada Development Group LLC Phone 201-463-6607  
Address 710 Newcomb Road, Ridgewood, NJ 07460
2. If applicant is a partnership, corporation or company, give name and address of the principal  
Steven Forada - see above address
3. Property Owner's name (if other than #1 above) Dagmar B. Libonati  
Address 111 Hallberg Ave., Bergenfield, NJ Phone c/o Linda #201-838-2350
4. Interest of applicant if other than owner Contract purchaser
5. Description of land to be subdivided: (a) Block 219 Lot (b) 20  
(b) Address 111 Hallberg Avenue, Bergenfield, NJ 07621  
(c) Give size of original plot 12,500 SF  
(d) Give size of lots after subdivision 6,250 SF  
(e) Are the following utilities existing:  

Paved streets	<input checked="" type="checkbox"/>	Curbs	<input checked="" type="checkbox"/>	Sidewalks	<u>No</u>
Sanitary Sewers	<input checked="" type="checkbox"/>	Water	<input checked="" type="checkbox"/>	Electric	<input checked="" type="checkbox"/>
Storm Sewers	<u>No</u>	Gas	<input checked="" type="checkbox"/>		
- (f) What is the zoning of the property R-5
- (g) Are there any existing structures on the property Yes  
Type Single Family Home If dwelling, how many families 1
6. What is the purpose of the subdivision request subdivide existing 12,500 SF lot into 2 lots 6,250 SF lots, each featuring a single family home
7. Name & address of person preparing sketch plat: (Plat must be drawn by a licensed engineer or land surveyor): Name Thomas G. Stearns III, PE, LS Phone 973-340-0948  
Address GB Engineering, LLC, 144 Lowell St., Garfield, NJ 07026
8. Signature of applicant [Signature]  
Signature of property owner if other than applicant [Signature]

**FOR OFFICE USE ONLY**

Application received \_\_\_\_\_ Fee of \$ \_\_\_\_\_ paid \_\_\_\_\_  
 Referred to members of Subdivision Committee on \_\_\_\_\_  
 If County approval is required, referred to County Planning Board on \_\_\_\_\_  
 Was approved \_\_\_\_\_ Disapproved \_\_\_\_\_  
 Declared to be a major/minor subdivision on \_\_\_\_\_ at a meeting of the  
 Bergenfield Planning Board held on \_\_\_\_\_ the above request for a subdivision  
 was approved \_\_\_\_\_ rejected \_\_\_\_\_ held over for additional information \_\_\_\_\_  
 Comments: \_\_\_\_\_

**ADDITIONAL QUESTIONS TO BE ANSWERED  
BY ALL APPLICANTS SEEKING  
SUBDIVISION APPROVAL**

1. In what zone is the property located?

R-5, Residential One and Two Family Dwelling Zone

(If the applicant intends to use the proposed subdivided lots for a use not permitted in that zone, a variance must be obtained from the Bergenfield Zoning Board of Adjustment).

2. State dimensions and square footage area of each proposed lot:

Lot 20.01 - 50' x 125' (6,250 SF)

Lot 20.02 - 50' x 125' (6,250 SF)

3. If any structure exists on any of the proposed subdivided lots, state with reference to that lot or lots-

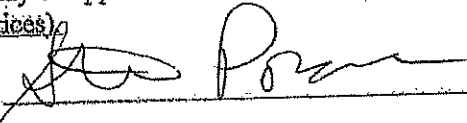
(a) Front setback length: Lot 20.01 - 27'  
Lot 20.02 - 27'

(b) Each side yard length: Lot 20.01 - 7.5'  
Lot 20.02 - 7.5'

(c) Rear yard length: Lot 20.01 - 43.33'  
Lot 20.02 - 43.33'

(if any setback, side or rear yard measurements are less than permitted for that zone, a variance may be applied for before the Bergenfield Planning Board, with proper notices.)

Signature of applicant



Signature of property owner,  
If other than applicant

**ADDITIONAL QUESTIONS TO BE ANSWERED  
BY ALL APPLICANTS SEEKING  
SUBDIVISION APPROVAL**

1. In what zone is the property located?  
R-5, Residential One and Two Family Dwelling Zone

(If the applicant intends to use the proposed subdivided lots for a use not permitted in that zone, a variance must be obtained from the Bergenfield Zoning Board of Adjustment).

2. State dimensions and square footage area of each proposed lot:

Lot 20.01 - 50' x 125' (6,250 SF)  
Lot 20.02 - 50' x 125' (6,250 SF)

3. If any structure exists on any of the proposed subdivided lots, state with reference to that lot or lots:

(a) Front setback length: Lot 20.01 - 27'  
Lot 20.02 - 27'

(b) Each side yard length: Lot 20.01 - 7.5'  
Lot 20.02 - 7.5'

(c) Rear yard length: Lot 20.01 - 43.33'  
Lot 20.02 - 43.33'

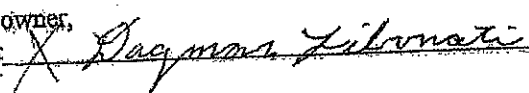
(If any setback, side or rear yard measurements are less than permitted for that zone, a variance may be applied for before the Bergenfield Planning Board, with proper notices.)

Signature of applicant



Signature of property owner,

If other than applicant

X 

AFFIDAVIT PLANNING BOARD/BOARD OF ADJUSTMENT  
OF THE  
BOROUGH OF BERGENFIELD

STATE OF NEW JERSEY  
COUNTY OF BERGEN  
BOROUGH OF BERGENFIELD

SS: The Porada Development Group LLC  
Name of Applicant

Steven Porada being duly sworn deposes and says;

that he resides at number 710 Newcomb Road in the Borough of  
Village of Ridgewood In the County of Bergen

in the State of New Jersey, and says that he is the appellant making

appeal for a variation of the provisions of the Zoning Ordinance of the Borough of Bergenfield in  
connection with the property which is the subject matter of this appeal and known as number  
111 Hallberg Ave., Bergenfield, NJ designated as Block 219 and

Lot 20 on the Assessment Map of the Borough of Bergenfield. That all

Statements made in this application, and statements made in the plans submitted herewith are

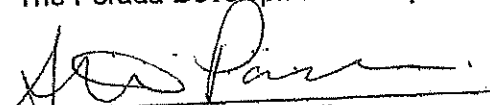
True. The applicant further states that he is ready and able to proceed with the construction if

And when the application is granted.

Sworn to me this 19th

Day of March 2020

The Porada Development Group LLC



Steven Porada, Applicant  
Managing Member

  
Notary Public

LIANE M. DESCALZI  
NOTARY PUBLIC OF NEW JERSEY  
ID # 50016862  
My Commission Expires 6/1/2020

All partnerships and corporations must supply a list of stockholders with a 10% or  
greater share, they must also be represented by an Attorney at the hearing.

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,  
COUNTY OF BERGEN

SS:

Dagmar B. Libonati of full age, duly sworn according

to the law, deposes and says that he resides at 111 Hallberg Ave.

in the Borough of Bergenfield in the County of Bergen

in the State of New Jersey that he is the owner in fee of real property lying in  
the Borough of Bergenfield, known and designated as number 111 Hallberg Ave., Bergenfield, NJ  
Block 219, Lot 20

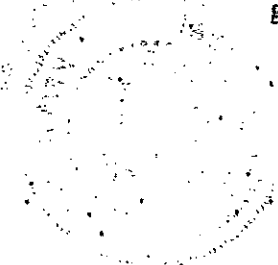
and that he hereby authorizes The Porada Development Group LLC to make the within  
application in his behalf and that the statements in the said application are true.

SWORN TO BEFORE ME THIS 7th  
DAY OF March 20 20

Dagmar B. Libonati  
Owner, Dagmar B. Libonati

[Signature]  
Notary Public  
**HARVEY J. CAVAYERO**  
NOTARY PUBLIC OF NEW JERSEY  
Comm. # 50077249  
My Commission Expires 2/20/2023

Note: All partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.



AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY,  
COUNTY OF BERGEN

SS:

Linda J. Libonati

of full age, duly sworn according

to the law, deposes and says that he resides at 111 Halberg Avenue, Bergenfield, NJ 07621

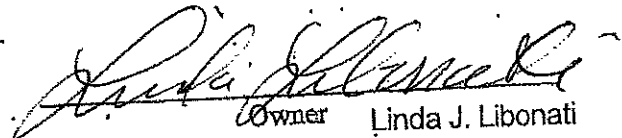
in the Borough of Bergenfield in the County of Bergen

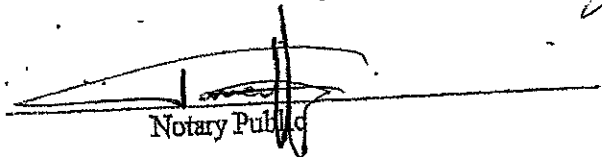
in the State of New Jersey that he is the owner in fee of real property lying in  
the Borough of Bergenfield, known and designated as number 111 Halberg Ave., Bergenfield,  
NJ Block 219, Lot 20

and that he hereby authorizes The Porada Development Group LLC to make the within  
application in his behalf and that the statements in the said application are true.

SWORN TO BEFORE ME THIS 8th

DAY OF April 2020

  
Owner Linda J. Libonati

  
Notary Public

HARVEY J. CAVAYERO  
NOTARY PUBLIC OF NEW JERSEY  
Comm. # 50077249  
My Commission Expires 2/20/2023

Note: All partnership and corporations must supply a list of stockholders with a 10% or greater share, that they must also be represented by an Attorney at the hearing.

**Rider to Application for Subdivision**

**Zoning Officer's Letter of Denial**  
**dated March 6, 2020**





**BOROUGH OF BERGENFIELD**

198 NORTH WASHINGTON AVENUE  
BERGENFIELD, NEW JERSEY 07621

CONSTRUCTION CODE DEPT.  
(201) 387-4055 EXT. 1-4092  
FAX: (201) 385-7376

March 6, 2020

Steve Porada  
111 Hallberg Avenue  
Bergenfield, NJ 07621

RE: Subdivision

Dear Mrs. Porada

Your application for subdivision has been denied for the following reasons:

107 Hallberg Avenue:

1. Street side set back required 15 sq. feet. Proposed 7 1/2 sq. feet.
2. Improved lot coverage required 2,000 sq. feet. Proposed 2,454 sq. feet.

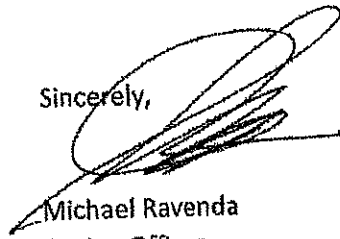
109 Hallberg Avenue:

1. Improved lot coverage required 2,000 sq. feet. Proposed 2,464 sq. feet.

You have the right to appeal my decision to the planning board for minor subdivision. You must contact the Building Department to obtain the proper applications.

If you have any question on the above matter, please contact our office. You can call the Building Department at 201-387-4055 Ext. 4

Sincerely,



Michael Ravenda  
Zoning Officer

**Rider to Application for Subdivision**

**Certification of Paid Taxes**



TAX COLLECTOR'S CERTIFICATION  
PAYMENT OF PROPERTY TAXES

Date: 2/19/20

Block: 219 Lot: 20 Address: 111 Hallberg Ave.

Owner's Name: The Parada Development Group LLC

Owner's Address: 710 Newcomb Rd., Ridgewood, NJ 07450

Phone Number: 201-463-6607 Cell Number: \_\_\_\_\_

Application for:  Board of Adjustment  Planning Board  
 Building Department Permit

Description of Work to be Performed:  
minor subdivision (2 lots)

*All applications for the above are required to obtain a certification from the Tax Collector's Office prior to receiving placement on the agenda of any board and / or receiving a permit from the building department for construction or certificate of occupancy. "No Exceptions"*

\*\*\*\*\*  
Tax Office Use Only:

Tax Current:  Yes  No Last Quarter Paid On: 1-31-20  
(Printout Attached)

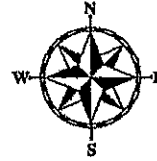
Tax Collector / Deputy Tax Collector Certification:  
[Signature]

Date: 2-24-20

Certification Number: T-8454



**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

## DRAINAGE CALCULATIONS

FOR

107 HALLBERG AVENUE  
PROP. LOT 20.01 in BLOCK 219  
BOROUGH OF BERGENFIELD  
BERGEN COUNTY  
NEW JERSEY  
2019/1215

Prepared for:

STEVEN PORADA

February 5, 2020

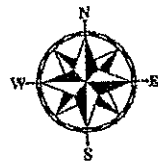
THOMAS G. STEARNS III  
N. J. PROFESSIONAL ENGINEER & SURVEYOR  
N. J. LICENSE NO. GB40959

• Location Surveys • Topography • Site Plans • Subdivisions •



# GB ENGINEERING, LLC

Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

Present Existing Site:

Area in Question consists of Proposed Lot 20.01  
 Area = 6250 sf = 0.143 Acres  
 tc = 6 min.

2	year storm,	i = 5.2 "/hr;	Use Rational Method
10	year storm,	i = 6.7 "/hr;	"
100	year storm,	i = 9.1 "/hr;	"

**EXISTING COEFFICIENT FROM PRESET SITE:**

	Area(SF)	%	Ce	Partial Ce
P/O Dwelling	594	9.5	0.95	0.090
Pool Equip.	90	1.4	0.95	0.014
P/O Pool	596	9.5	0.95	0.091
Conc. Feat.	678	10.8	1.95	0.212
Landscape	<u>4292</u>	<u>68.7</u>	0.3	<u>0.206</u>
	<b>6,250</b>	<b>100%</b>		<b>0.612</b>

**RUNOFF FROM EXISTING SITE:**

$$Q = \frac{C_i A}{e^2} = \frac{0.612 \times 5.2 \times 0.143}{e^2} = 0.457 \text{ cfs} \quad 50\% = 0.228 \text{ cfs}$$

$$V = \frac{0.228 \times 1/2 \times 18.00 \times 60}{e^2} = \underline{123} \text{ allowable volume}$$

$$Q = \frac{C_i A}{e^{10}} = \frac{0.612 \times 6.7 \times 0.143}{e^{10}} = 0.588 \text{ cfs} \quad 75\% = 0.441 \text{ cfs}$$

$$V = \frac{0.441 \times 1/2 \times 18.00 \times 60}{e^{10}} = \underline{238} \text{ allowable volume}$$

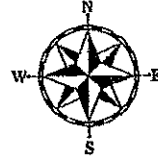
$$Q = \frac{C_i A}{e^{100}} = \frac{0.612 \times 9.1 \times 0.143}{e^{100}} = 0.799 \text{ cfs} \quad 80\% = 0.639 \text{ cfs}$$

$$V = \frac{0.639 \times 1/2 \times 18.00 \times 60}{e^{100}} = \underline{345} \text{ allowable volume}$$



# GB ENGINEERING, LLC

Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

### Proposed Developed Site:

Area in Question consists of Proposed Lot 20.01

Area = 6250 sf = 0.143 Acres

tc = 6 min.

2	year storm,	i = 5.2 "/hr;	Use Rational Method
10	year storm,	i = 6.7 "/hr;	"
100	year storm,	i = 9.1 "/hr;	"

### RUNOFF COEFFICIENT FROM PROPOSED SITE:

	Area(SF)	%	Ce	Partial Ce
Dwelling	1683	26.9	0.95	0.256
Front Porch	102	1.6	0.95	0.016
Driveway-pavers	445	7.1	0.95	0.068
Front Walk-pavers	106	1.7	0.95	0.016
Conc. Feat.	128	2.0	0.95	0.019
Landscape	<u>3786</u>	<u>60.6</u>	0.3	<u>0.182</u>
	6250	100%		0.556

### RUNOFF FROM PROPOSED SITE:

$$Q = \frac{0.556 \times 5.2 \times 0.143}{p^2} = 0.415 \text{ cfs}$$

$$V = \frac{0.415 \times 1/2 \times 18.00 \times 60}{p^2} = \underline{224} \text{ cf}$$

$$Q = \frac{0.556 \times 6.7 \times 0.143}{p^{10}} = 0.535 \text{ cfs}$$

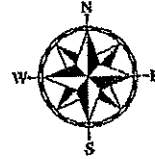
$$V = \frac{0.535 \times 1/2 \times 18.00 \times 60}{p^{10}} = \underline{289} \text{ cf}$$

$$Q = \frac{0.556 \times 9.1 \times 0.143}{p^{100}} = 0.726 \text{ cfs}$$

$$V = \frac{0.726 \times 1/2 \times 18.00 \times 60}{p^{100}} = \underline{392} \text{ cf}$$



**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

**Storage Required for Proposed Increase in Runoff Volume:** (as per Residential Site Improvement)

2 yr storm	224 cf	-	123	=	<u>101</u> cf
10 yr storm	289 cf	-	238	=	50 cf
100 yr storm	392 cf	-	345	=	47 cf

**Storage Required for Roof Runoff:**

10 yr storm used 60 min. storm duration  $I = 2.0"/hr$

Roof Area - 1683 sf. Front Porch 102 cf.

Designated Area  $1785 \times \frac{2.0}{12} \times 0.95 \times \frac{60}{60} = \underline{283}$  cf.

Note: 101 cf (req. for 2 yr storm) < 283 cf

Use 283 cf as design volume

**SEEPAGE PIT STORAGE CALCULATIONS FOR ROOF RUNOFF**

Pre-cast 6 ft inner diameter concrete seepage pit → 6 ft deep  
( 6.5 ft outer diameter )

Provide stone with filter fabric around pit → 2.0 ft thick

40% stone void ratio used.

\* No base stone area considered as storage due to sedimentation.

Pit Volume: 6 ft deep 2.0 ft thick stone

$$V = ( 3.14 \times 6 \times 6 \times 6 / 4 ) + ( 3.14 \times ( 110 - 42 ) \times 0.4 \times 6 / 4 = 298 \text{ CF}$$

Provided Storage for Dwelling 298 CF > 283 CF Required



**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

**Storage Required for Driveway Runoff:**

10 yr storm used 60 min. storm duration

I = 2.0"/hr

Driveway Area 445 sf.

Designated Area  $445 \times \frac{2.0}{12} \times 0.95 \times \frac{60}{60} = 70$  cf.

**SEEPAGE PIT STORAGE CALCULATIONS FOR DRIVEWAY RUNOFF**

Pre-cast 6 ft inner diameter concrete seepage pit → 3 ft deep  
( 6.5 ft outer diameter )

Provide stone with filter fabric around pit → 1.5 ft thick

40% stone void ratio used.

\* No base stone area considered as storage due to sedimentation.

Pit Volume: 3 ft deep 1.5 ft thick stone

$$V = ( 3.14 \times 6 \times 6 \times 3 / 4 ) + ( 3.14 \times ( 90 - 42 ) \times 0.4 \times 3 / 4 = 130 \text{ CF}$$

**Provided Storage for Driveway 130 CF > 70 CF Required**



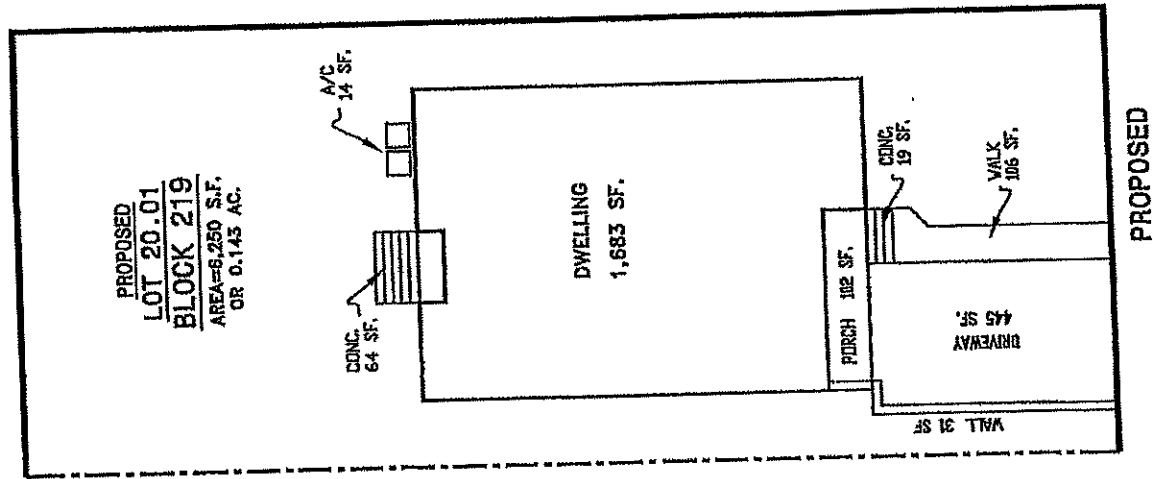
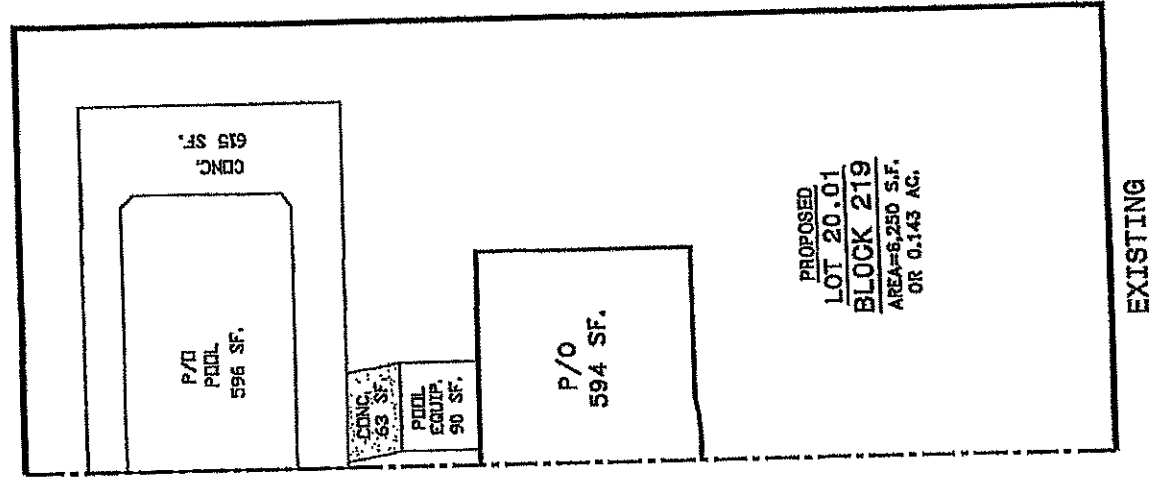


**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015





# GB ENGINEERING, LLC

Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

**Present Existing Site:**

Area in Question consists of Proposed Lot 20.02

Area = 6250 sf = 0.143 Acres

tc = 6 min.

2	year storm,	i = 5.2 "/hr;	Use Rational Method
10	year storm,	i = 6.7 "/hr;	"
100	year storm,	i = 9.1 "/hr;	"

**EXISTING COEFFICIENT FROM PRESET SITE:**

	Area(SF)	%	Ce	Partial Ce
P/O Dwelling	1594	25.5	0.95	0.242
Porch w/stairs	109	1.7	0.95	0.017
P/O Pool	117	1.9	0.95	0.018
Wood Deck	278	4.4	0.95	0.042
Macadam	239	3.8	0.95	0.036
Front walk	143	2.3	0.95	0.022
Concrete feat.	550	8.8	0.95	0.084
Landscape	<u>3220</u>	<u>51.5</u>	0.3	<u>0.155</u>
	<b>6,250</b>	<b>100%</b>		<b>0.615</b>

**RUNOFF FROM EXISTING SITE:**

$$Q = \frac{CiA}{60} = \frac{0.615 \times 5.2 \times 0.143}{60} = 0.459 \text{ cfs} \quad 50\% = 0.229 \text{ cfs}$$

$$V = \frac{0.229}{60} \times \frac{1}{2} \times 18.00 \times 60 = \underline{124} \text{ allowable volume}$$

$$Q = \frac{CiA}{60} = \frac{0.615 \times 6.7 \times 0.143}{60} = 0.591 \text{ cfs} \quad 75\% = 0.443 \text{ cfs}$$

$$V = \frac{0.443}{60} \times \frac{1}{2} \times 18.00 \times 60 = \underline{239} \text{ allowable volume}$$

$$Q = \frac{CiA}{60} = \frac{0.615 \times 9.1 \times 0.143}{60} = 0.803 \text{ cfs} \quad 80\% = 0.643 \text{ cfs}$$

$$V = \frac{0.643}{60} \times \frac{1}{2} \times 18.00 \times 60 = \underline{347} \text{ allowable volume}$$



**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

Proposed Developed Site:

Area in Question consists of Proposed Lot 20.02  
Area = 6250 sf = 0.143 Acres  
tc = 6 min.

2 year storm, i = 5.2 "/hr; Use Rational Method  
10 year storm, i = 6.7 "/hr; "  
100 year storm, i = 9.1 "/hr; "

**RUNOFF COEFFICIENT FROM PROPOSED SITE:**

	Area(SF)	%	Ce	Partial Ce
Dwelling	1683	26.9	0.95	0.256
Front Porch	102	1.6	0.95	0.016
Driveway-pavers	445	7.1	0.95	0.068
Front Walk-pavers	104	1.7	0.95	0.016
Conc. Feat.	120	1.9	0.95	0.018
Landscape	<u>3796</u>	<u>60.7</u>	0.3	<u>0.182</u>
	<b>6250</b>	<b>100%</b>		<b>0.555</b>

**RUNOFF FROM PROPOSED SITE:**

$$Q = \frac{0.555 \times 5.2 \times 0.143}{p^2} = 0.414 \text{ cfs}$$

$$V = \frac{0.414 \times 1/2 \times 18.00 \times 60}{p^2} = \underline{224} \text{ cf}$$

$$Q = \frac{0.555 \times 6.7 \times 0.143}{p^{10}} = 0.534 \text{ cfs}$$

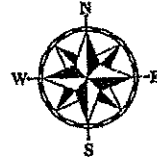
$$V = \frac{0.534 \times 1/2 \times 18.00 \times 60}{p^{10}} = \underline{288} \text{ cf}$$

$$Q = \frac{0.555 \times 9.1 \times 0.143}{p^{100}} = 0.725 \text{ cfs}$$

$$V = \frac{0.725 \times 1/2 \times 18.00 \times 60}{p^{100}} = \underline{391} \text{ cf}$$



**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

**Storage Required for Proposed Increase in Runoff Volume:** (as per Residential Site Improvement)

2 yr storm	224 cf	-	124	=	<u>100</u> cf
10 yr storm	288 cf	-	239	=	49 cf
100 yr storm	391 cf	-	347	=	45 cf

**Storage Required for Roof Runoff:**

10 yr storm used 60 min. storm duration  $I = 2.0''/hr$

Roof Area - 1683 sf. Front Porch 102 cf.

$$\text{Designated Area} \quad 1785 \times \frac{2.0}{12} \times 0.95 \times \frac{60}{60} = \underline{283} \text{ cf.}$$

Note: 100 cf (req. for 2 yr storm) < 283 cf

Use 283 cf as design volume

**SEEPAGE PIT STORAGE CALCULATIONS FOR ROOF RUNOFF**

Pre-cast 6 ft inner diameter concrete seepage pit → 6 ft deep  
( 6.5 ft outer diameter )

Provide stone with filter fabric around pit → 2.0 ft thick

40% stone void ratio used.

\* No base stone area considered as storage due to sedimentation.

Pit Volume: 6 ft deep 2.0 ft thick stone

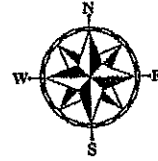
$$V = ( 3.14 \times 6 \times 6 \times 6 / 4 ) +$$

$$( 3.14 \times ( 110 - 42 ) \times 0.4 \times 6 / 4 = 298 \text{ CF}$$

Provided Storage for Dwelling 298 CF > 283 CF Required



**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

Storage Required for Driveway Runoff:

10 yr storm used 60 min. storm duration

$$I = 2.0"/hr$$

Driveway Area 445 sf.

$$\text{Designated Area} \quad 445 \times \frac{2.0}{12} \times 0.95 \times \frac{60}{60} = 70 \text{ cf.}$$

**SEEPAGE PIT STORAGE CALCULATIONS FOR DRIVEWAY RUNOFF**

Pre-cast 6 ft inner diameter concrete seepage pit → 3 ft deep  
( 6.5 ft outer diameter )

Provide stone with filter fabric around pit → 1.5 ft thick

40% stone void ratio used.

\* No base stone area considered as storage due to sedimentation.

Pit Volume: 3 ft deep 1.5 ft thick stone

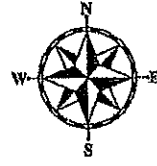
$$V = ( 3.14 \times 6 \times 6 \times 3 / 4 ) + ( 3.14 \times ( 90 - 42 ) \times 0.4 \times 3 / 4 = 130 \text{ CF}$$

**Provided Storage for Driveway 130 CF > 70 CF Required**



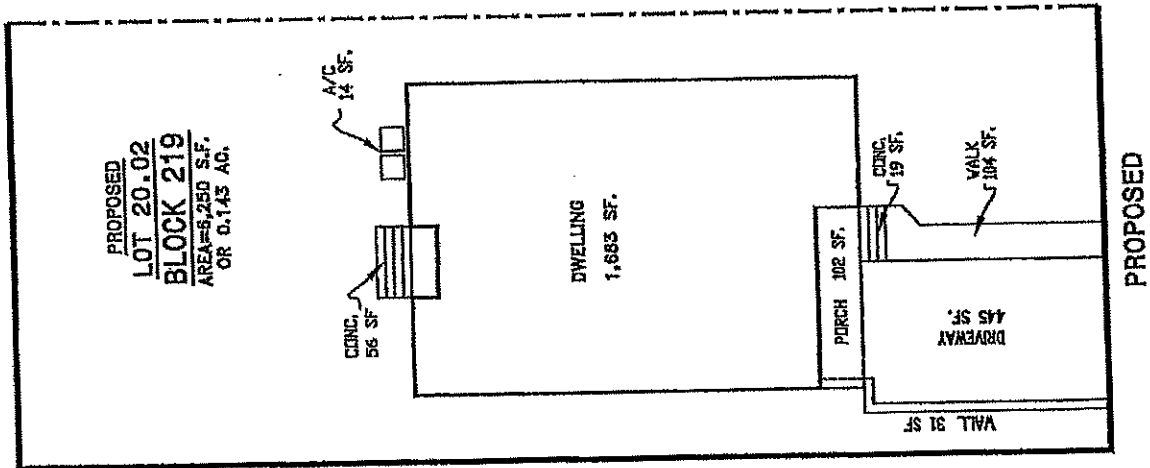
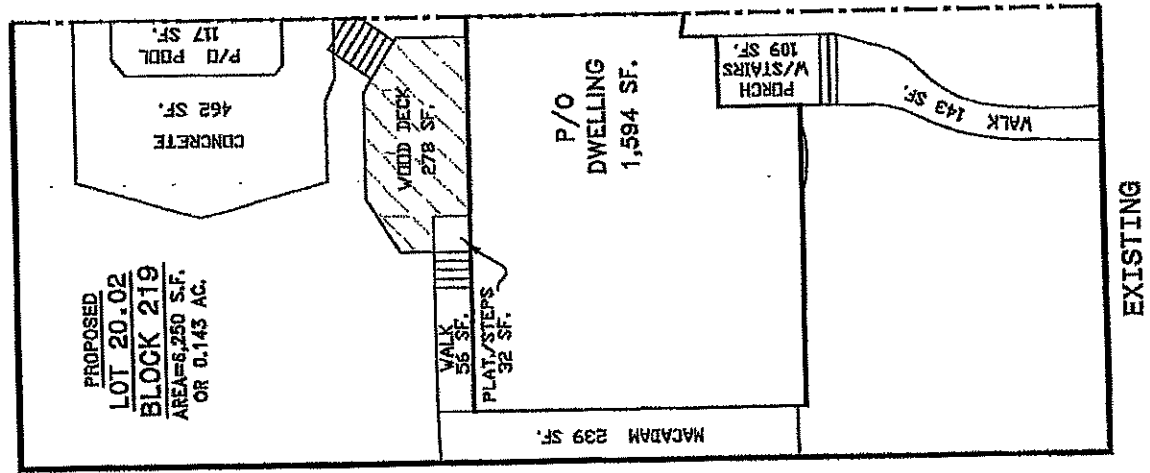
# GB ENGINEERING, LLC

Engineering • Surveying



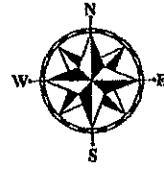
144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015





**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

## DRAINAGE CALCULATIONS

FOR

107 HALLBERG AVENUE  
PROP. LOT 20.01 in BLOCK 219  
BOROUGH OF BERGENFIELD  
BERGEN COUNTY  
NEW JERSEY  
2019/1215

Prepared for:

STEVEN PORADA

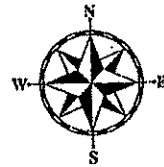
February 5, 2020

THOMAS G. STEARNS III  
N. J. PROFESSIONAL ENGINEER & SURVEYOR  
N. J. LICENSE NO. GB40959



# GB ENGINEERING, LLC

Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

### Present Existing Site:

Area in Question consists of Proposed Lot 20.01  
Area = 6250 sf = 0.143 Acres  
tc = 6 min.

2	year storm,	i = 5.2 "/hr;	Use Rational Method
10	year storm,	i = 6.7 "/hr;	"
100	year storm,	i = 9.1 "/hr;	"

### EXISTING COEFFICIENT FROM PRESET SITE:

	Area(SF)	%	Ce	Partial Ce
P/O Dwelling	594	9.5	0.95	0.090
Pool Equip.	90	1.4	0.95	0.014
P/O Pool	596	9.5	0.95	0.091
Conc. Feat.	678	10.8	1.95	0.212
Landscape	<u>4292</u>	<u>68.7</u>	0.3	<u>0.206</u>
	<b>6,250</b>	<b>100%</b>		<b>0.612</b>

### RUNOFF FROM EXISTING SITE:

$$Q = \frac{CiA}{e^2} = \frac{0.612 \times 5.2 \times 0.143}{e^2} = 0.457 \text{ cfs} \quad 50\% = 0.228 \text{ cfs}$$

$$V = \frac{0.228 \times 1/2 \times 18.00 \times 60}{e^2} = \underline{123} \quad \text{allowable volume}$$

$$Q = \frac{CiA}{e^{10}} = \frac{0.612 \times 6.7 \times 0.143}{e^{10}} = 0.588 \text{ cfs} \quad 75\% = 0.441 \text{ cfs}$$

$$V = \frac{0.441 \times 1/2 \times 18.00 \times 60}{e^{10}} = \underline{238} \quad \text{allowable volume}$$

$$Q = \frac{CiA}{e^{100}} = \frac{0.612 \times 9.1 \times 0.143}{e^{100}} = 0.799 \text{ cfs} \quad 80\% = 0.639 \text{ cfs}$$

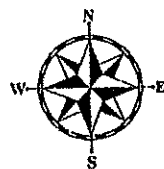
$$V = \frac{0.639 \times 1/2 \times 18.00 \times 60}{e^{100}} = \underline{345} \quad \text{allowable volume}$$





# GB ENGINEERING, LLC

Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

### Proposed Developed Site:

Area in Question consists of Proposed Lot 20.01  
Area = 6250 sf = 0.143 Acres  
tc = 6 min.

2	year storm,	i = 5.2 "/hr;	Use Rational Method
10	year storm,	i = 6.7 "/hr;	"
100	year storm,	i = 9.1 "/hr;	"

### RUNOFF COEFFICIENT FROM PROPOSED SITE:

	Area(SF)	%	Ce	Partial Ce
Dwelling	1683	26.9	0.95	0.256
Front Porch	102	1.6	0.95	0.016
Driveway-pavers	445	7.1	0.95	0.068
Front Walk-pavers	106	1.7	0.95	0.016
Conc. Feat.	128	2.0	0.95	0.019
Landscape	<u>3786</u>	<u>60.6</u>	0.3	<u>0.182</u>
	<b>6250</b>	<b>100%</b>		<b>0.556</b>

### RUNOFF FROM PROPOSED SITE:

$$Q_{p2} = 0.556 \times 5.2 \times 0.143 = 0.415 \text{ cfs}$$

$$V_{p2} = 0.415 \times \frac{1}{2} \times 18.00 \times 60 = \underline{224} \text{ cf}$$

$$Q_{p10} = 0.556 \times 6.7 \times 0.143 = 0.535 \text{ cfs}$$

$$V_{p10} = 0.535 \times \frac{1}{2} \times 18.00 \times 60 = \underline{289} \text{ cf}$$

$$Q_{p100} = 0.556 \times 9.1 \times 0.143 = 0.726 \text{ cfs}$$

$$V_{p100} = 0.726 \times \frac{1}{2} \times 18.00 \times 60 = \underline{392} \text{ cf}$$



# GB ENGINEERING, LLC

Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

**Storage Required for Proposed Increase in Runoff Volume:** (as per Residential Site Improvement)

2 yr storm	224 cf	-	123	=	<u>101</u>	cf
10 yr storm	289 cf	-	238	=	50	cf
100 yr storm	392 cf	-	345	=	47	cf

**Storage Required for Roof Runoff:**

10 yr storm used 60 min. storm duration  $I = 2.0"/hr$

Roof Area - 1683 sf. Front Porch 102 cf.

$$\text{Designated Area} \quad 1785 \times \frac{2.0}{12} \times 0.95 \times \frac{60}{60} = \underline{283} \text{ cf.}$$

Note: 101 cf (req. for 2 yr storm) < 283 cf

Use 283 cf as design volume

**SEEPAGE PIT STORAGE CALCULATIONS FOR ROOF RUNOFF**

Pre-cast 6 ft inner diameter concrete seepage pit → 6 ft deep  
( 6.5 ft outer diameter )

Provide stone with filter fabric around pit → 2.0 ft thick

40% stone void ratio used.

\* No base stone area considered as storage due to sedimentation.

Pit Volume: 6 ft deep 2.0 ft thick stone

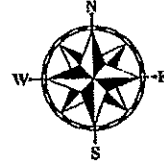
$$V = ( 3.14 \times 6 \times 6 \times 6 / 4 ) +$$

$$( 3.14 \times ( 110 - 42 ) \times 0.4 \times 6 / 4 = 298 \text{ CF}$$

**Provided Storage for Dwelling 298 CF > 283 CF Required**



**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

Storage Required for Driveway Runoff:

10 yr storm used 60 min. storm duration

I = 2.0"/hr

Driveway Area 445 sf.

Designated Area  $445 \times \frac{2.0}{12} \times 0.95 \times \frac{60}{60} = 70$  cf.

**SEEPAGE PIT STORAGE CALCULATIONS FOR DRIVEWAY RUNOFF**

Pre-cast 6 ft inner diameter concrete seepage pit → 3 ft deep  
( 6.5 ft outer diameter )

Provide stone with filter fabric around pit → 1.5 ft thick

40% stone void ratio used.

\* No base stone area considered as storage due to sedimentation.

Pit Volume: 3 ft deep 1.5 ft thick stone

$$V = ( 3.14 \times 6 \times 6 \times 3 / 4 ) +$$

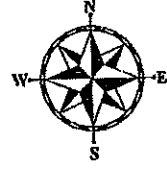
$$( 3.14 \times ( 90 - 42 ) \times 0.4 \times 3 / 4 = 130 \text{ CF}$$

Provided Storage for Driveway 130 CF > 70 CF Required



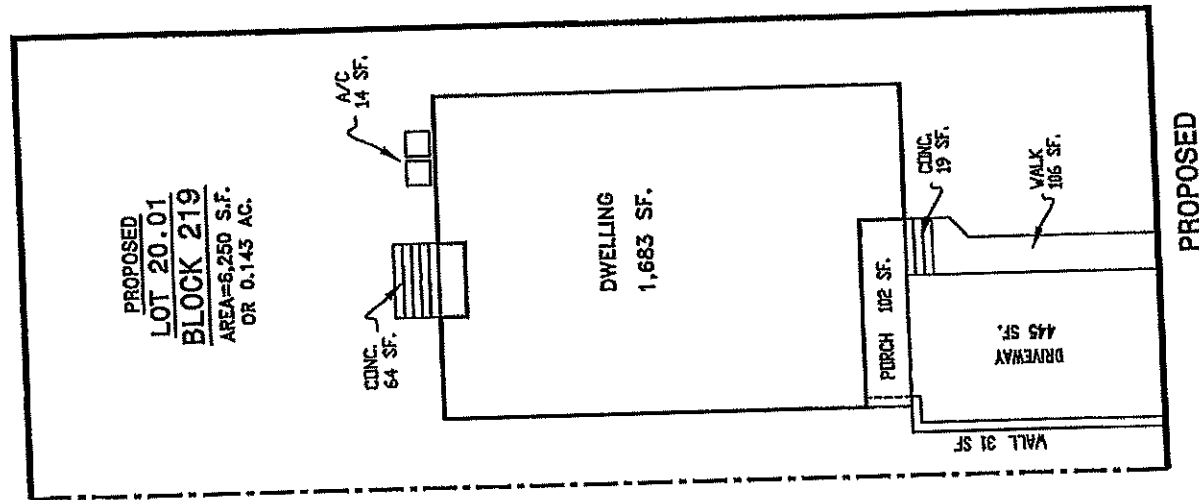
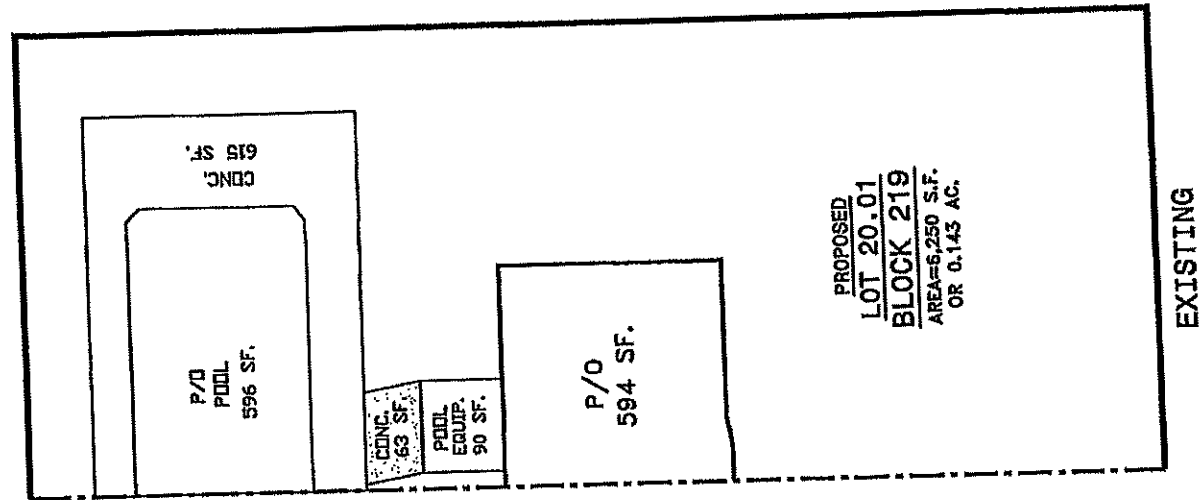
# GB ENGINEERING, LLC

Engineering • Surveying



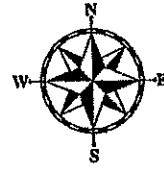
144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015





**GB ENGINEERING, LLC**  
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

## DRAINAGE CALCULATIONS

FOR

109 HALLBERG AVENUE  
PROP. LOT 20.02 in BLOCK 219  
BOROUGH OF BERGENFIELD  
BERGEN COUNTY  
NEW JERSEY  
2019/1215

Prepared for:

STEVEN PORADA

February 5, 2020

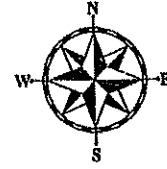
THOMAS G. STEARNS III  
N. J. PROFESSIONAL ENGINEER & SURVEYOR  
N. J. LICENSE NO. GB40959

• Location Surveys • Topography • Site Plans • Subdivisions •



# GB ENGINEERING, LLC

Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

**Present Existing Site:**

Area in Question consists of Proposed Lot 20.02  
 Area = 6250 sf = 0.143 Acres  
 tc = 6 min.

2	year storm,	i = 5.2 "/hr;	Use Rational Method
10	year storm,	i = 6.7 "/hr;	"
100	year storm,	i = 9.1 "/hr;	"

**EXISTING COEFFICIENT FROM PRESET SITE:**

	Area(SF)	%	Ce	Partial Ce
P/O Dwelling	1594	25.5	0.95	0.242
Porch w/stairs	109	1.7	0.95	0.017
P/O Pool	117	1.9	0.95	0.018
Wood Deck	278	4.4	0.95	0.042
Macadam	239	3.8	0.95	0.036
Front walk	143	2.3	0.95	0.022
Concrete feat.	550	8.8	0.95	0.084
Landscape	<u>3220</u>	<u>51.5</u>	0.3	<u>0.155</u>
	<b>6,250</b>	<b>100%</b>		<b>0.615</b>

**RUNOFF FROM EXISTING SITE:**

$$Q = \frac{CiA}{e^2} = \frac{0.615 \times 5.2 \times 0.143}{e^2} = 0.459 \text{ cfs} \quad 50\% = 0.229 \text{ cfs}$$

$$V = \frac{0.229 \times 1/2 \times 18.00 \times 60}{e^2} = \underline{124} \quad \text{allowable volume}$$

$$Q = \frac{CiA}{e^{10}} = \frac{0.615 \times 6.7 \times 0.143}{e^{10}} = 0.591 \text{ cfs} \quad 75\% = 0.443 \text{ cfs}$$

$$V = \frac{0.443 \times 1/2 \times 18.00 \times 60}{e^{10}} = \underline{239} \quad \text{allowable volume}$$

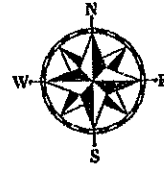
$$Q = \frac{CiA}{e^{100}} = \frac{0.615 \times 9.1 \times 0.143}{e^{100}} = 0.803 \text{ cfs} \quad 80\% = 0.643 \text{ cfs}$$

$$V = \frac{0.643 \times 1/2 \times 18.00 \times 60}{e^{100}} = \underline{347} \quad \text{allowable volume}$$



# GB ENGINEERING, LLC

Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

**Proposed Developed Site:**

Area in Question consists of Proposed Lot 20.02  
 Area = 6250 sf = 0.143 Acres  
 tc = 6 min.

2 year storm, i = 5.2 "/hr; Use Rational Method  
 10 year storm, i = 6.7 "/hr; "  
 100 year storm, i = 9.1 "/hr; "

**RUNOFF COEFFICIENT FROM PROPOSED SITE:**

	Area(SF)	%	Ce	Partial Ce
Dwelling	1683	26.9	0.95	0.256
Front Porch	102	1.6	0.95	0.016
Driveway-pavers	445	7.1	0.95	0.068
Front Walk-pavers	104	1.7	0.95	0.016
Conc. Feat.	120	1.9	0.95	0.018
Landscape	<u>3796</u>	<u>60.7</u>	0.3	<u>0.182</u>
	<b>6250</b>	<b>100%</b>		<b>0.555</b>

**RUNOFF FROM PROPOSED SITE:**

$$Q = \frac{0.555 \times 5.2 \times 0.143}{p^2} = 0.414 \text{ cfs}$$

$$V = \frac{0.414 \times 1/2 \times 18.00 \times 60}{p^2} = \underline{224} \text{ cf}$$

$$Q = \frac{0.555 \times 6.7 \times 0.143}{p^{10}} = 0.534 \text{ cfs}$$

$$V = \frac{0.534 \times 1/2 \times 18.00 \times 60}{p^{10}} = \underline{288} \text{ cf}$$

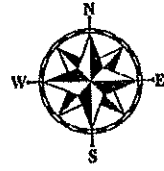
$$Q = \frac{0.555 \times 9.1 \times 0.143}{p^{100}} = 0.725 \text{ cfs}$$

$$V = \frac{0.725 \times 1/2 \times 18.00 \times 60}{p^{100}} = \underline{391} \text{ cf}$$



# GB ENGINEERING, LLC

Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

**Storage Required for Proposed Increase in Runoff Volume:** (as per Residential Site Improvement)

2 yr storm	224 cf	-	124	=	<u>100</u> cf
10 yr storm	288 cf	-	239	=	49 cf
100 yr storm	391 cf	-	347	=	45 cf

**Storage Required for Roof Runoff:**

10 yr storm used 60 min. storm duration I = 2.0"/hr

Roof Area - 1683 sf. Front Porch 102 cf.

Designated Area  $1785 \times \frac{2.0}{12} \times 0.95 \times \frac{60}{60} = \underline{283}$  cf.

Note: 100 cf (req. for 2 yr storm) < 283 cf

Use 283 cf as design volume

**SEEPAGE PIT STORAGE CALCULATIONS FOR ROOF RUNOFF**

Pre-cast 6 ft inner diameter concrete seepage pit → 6 ft deep  
( 6.5 ft outer diameter )

Provide stone with filter fabric around pit → 2.0 ft thick

40% stone void ratio used.

\* No base stone area considered as storage due to sedimentation.

Pit Volume: 6 ft deep 2.0 ft thick stone

$V = ( 3.14 \times 6 \times 6 \times 6 / 4 ) +$

$( 3.14 \times ( 110 - 42 ) \times 0.4 \times 6 / 4 = 298 \text{ CF}$

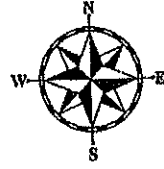
Provided Storage for Dwelling 298 CF > 283 CF Required





# GB ENGINEERING, LLC

Engineering • Surveying



Tel: 973-340-0948 • Fax: 973-340-0015

144 Jewell Street • Garfield, NJ 07026  
Storage Required for Driveway Runoff:

10 yr storm used 60 min. storm duration  $I = 2.0"/hr$

Driveway Area 445 sf.

$$\text{Designated Area} \quad 445 \times \frac{2.0}{12} \times 0.95 \times \frac{60}{60} = 70 \text{ cf.}$$

### SEEPAGE PIT STORAGE CALCULATIONS FOR DRIVEWAY RUNOFF

Pre-cast 6 ft inner diameter concrete seepage pit → 3 ft deep  
 ( 6.5 ft outer diameter )

Provide stone with filter fabric around pit → 1.5 ft thick

40% stone void ratio used.

\* No base stone area considered as storage due to sedimentation.

Pit Volume: 3 ft deep 1.5 ft thick stone

$$V = ( 3.14 \times 6 \times 6 \times 3 / 4 ) + ( 3.14 \times ( 90 - 42 ) \times 0.4 \times 3 / 4 = 130 \text{ CF}$$

Provided Storage for Driveway 130 CF > 70 CF Required



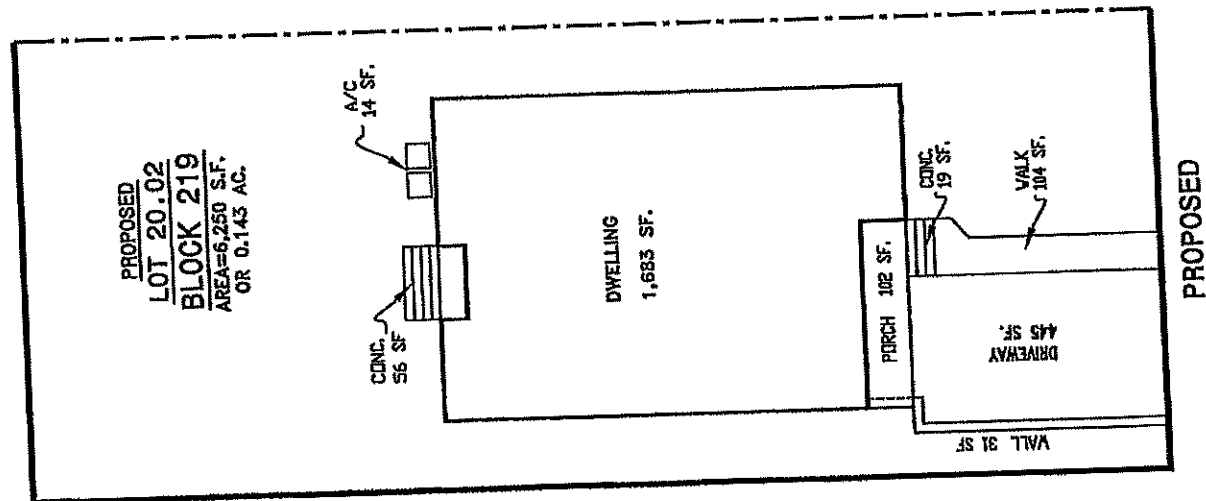
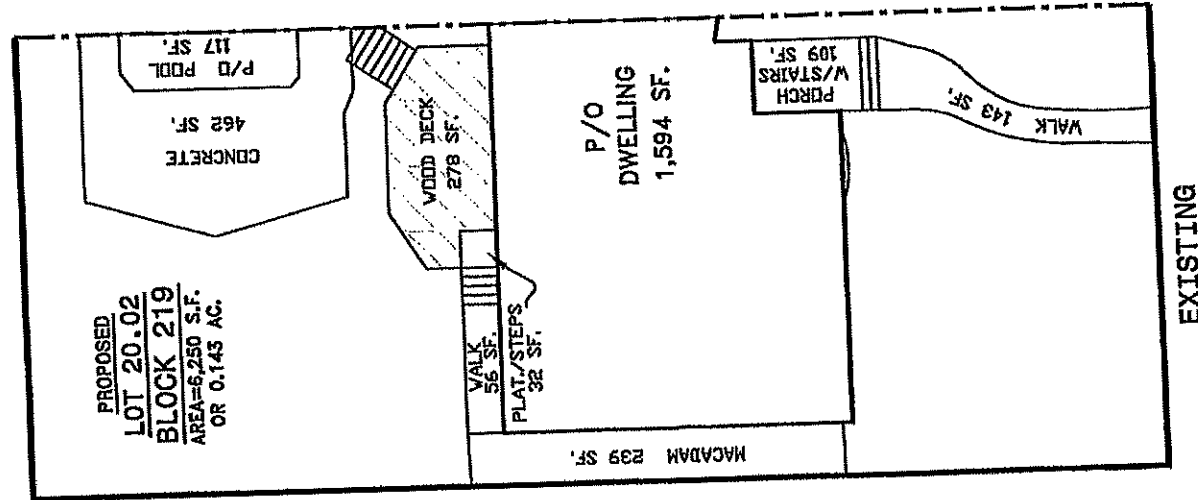
# GB ENGINEERING, LLC

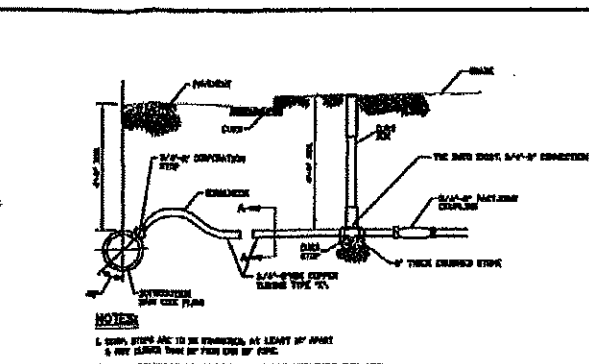
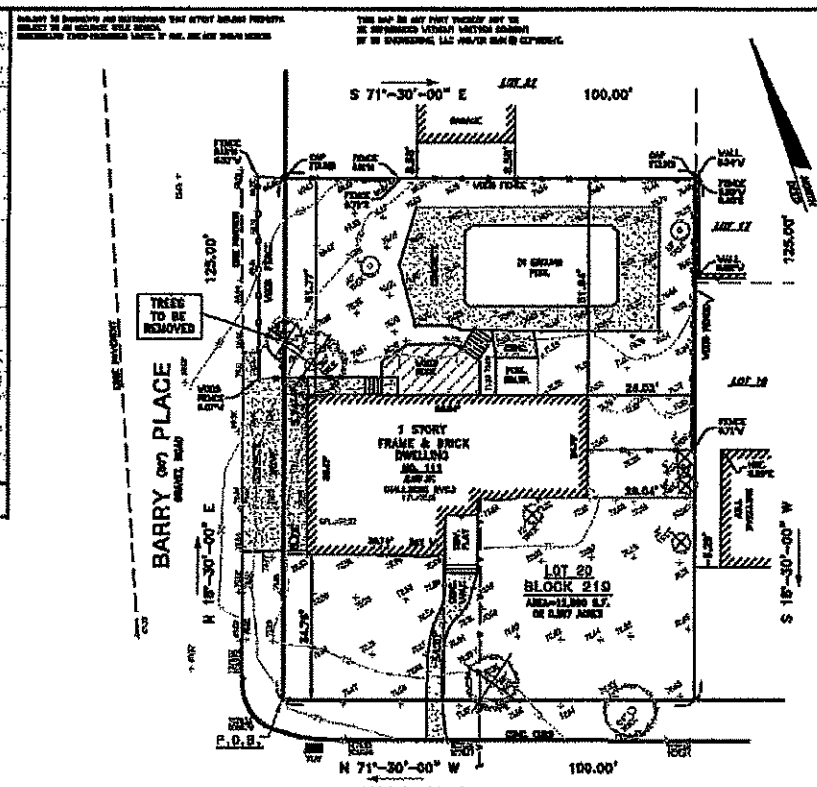
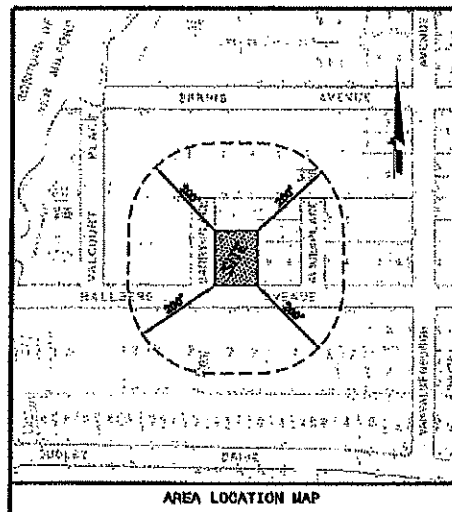
Engineering • Surveying



144 Jewell Street • Garfield, NJ 07026

Tel: 973-340-0948 • Fax: 973-340-0015

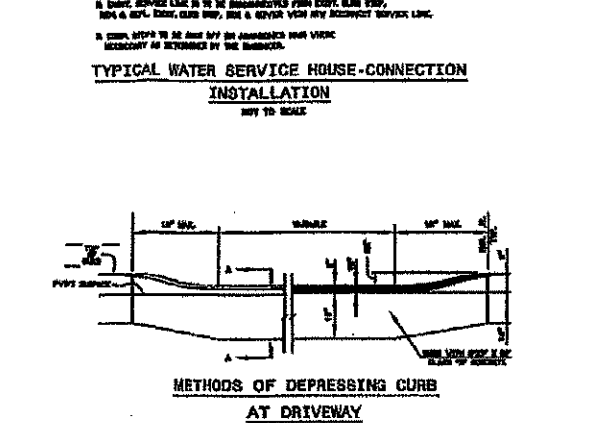
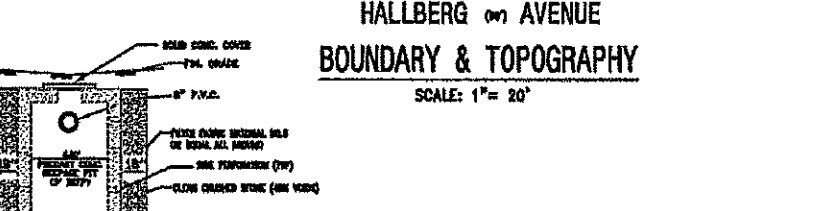
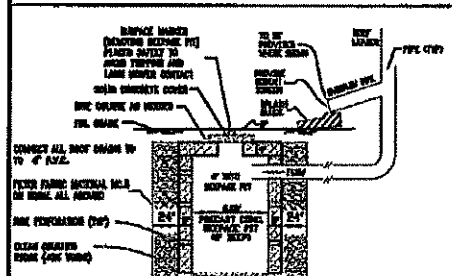




### SOIL MOVING CALCULATIONS

PROPOSED LOT 20

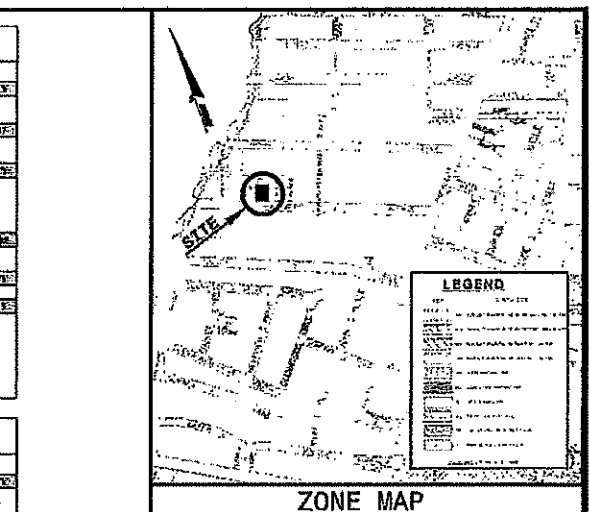
Category	Volume (CY)	Area (SF)	Depth (ft)	Notes
EXIST. CUT	177	177	1.1	
PROPOSED CUT	177	177	1.1	
NET CUT	0	0	0	



### SOIL MOVING CALCULATIONS

PROPOSED LOT 21

Category	Volume (CY)	Area (SF)	Depth (ft)	Notes
EXIST. CUT	177	177	1.1	
PROPOSED CUT	177	177	1.1	
NET CUT	0	0	0	



- ### GENERAL NOTES:
- BEING A PROPOSED SUBDIVISION FOR LOT 20 IN BLOCK 219 AS SHOWN ON THE TAX MAP OF THE BOROUGH OF BERGENFIELD, BERGEN COUNTY, NEW JERSEY. TAX MAP SHEET NO. 13.
  - ALSO KNOWN AS LOTS 24 AND PART OF 23 AS SHOWN ON A MAP DATED "MAP OF PROPERTY OF SAM WALKER" FILED IN THE R.C.O.D. MARCH 1, 1912 AS MAP NO. 1406.
  - EXISTING LOT 20 CONTAINS 12,500 SF OF 0.287 ACRES
  - PROPOSED LOT 20.01 CONTAINS 6,250 SF OR 0.1435 ACRES
  - PROPOSED LOT 20.02 CONTAINS 6,250 SF OR 0.1435 ACRES
  - THE PROPERTY LIES WITHIN "R-5" RESIDENTIAL ZONE ONE-FAMILY HOMES ARE CONSIDERED A PERMITTED USE. SEE ZONE CHART BELOW.

**LEGEND**

**EXISTING FEATURES**

- Right of Way Line
- Curb Line
- Concrete Sidewalk
- Sanitary Sewer Main
- Sanitary Manhole
- Gas Main
- Gas Valve
- Water Main
- Water Valve
- Existing Grade
- Contour Elevation Line

**LEGEND**

**PROPOSED FEATURES**

- PROP. SAN. SEWER CONN. (4" PVC)
- PROP. WATER CONN. (1" COPPER)
- PROP. GAS
- FIN. GRADE
- PROP. CONC. SIDEWALK, ETC.
- PROP. 4" PVC ROOF DRAINS
- PROP. CONCRETE CURB
- PROP. SEEPAGE PIT
- PROP. WATER VALVE
- PROP. GAS VALVE
- PROP. CONTOURS

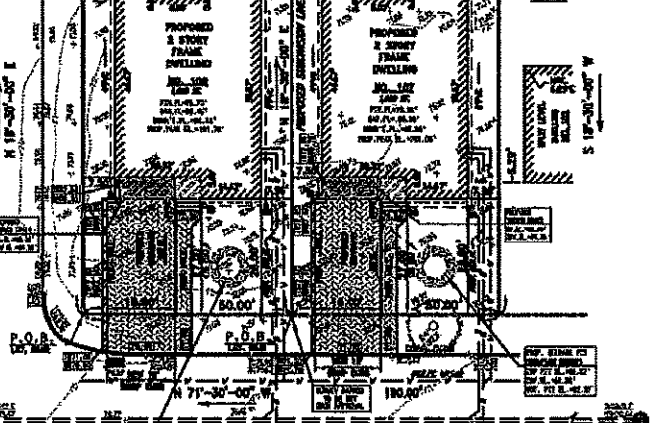
### EXISTING LOT COVERAGE SCHEDULE:

Category	Area (SF)	%
Paved Driveway	594	3.5 %
Paved Porch	30	1.4 %
Paved Walk	594	3.5 %
<b>TOTAL LOT COVERAGE:</b>	<b>1260</b>	<b>79.5 %</b>

### PROPOSED LOT COVERAGE SCHEDULE:

Category	Area (SF)	%
Driveway	1083	16.9 %
Front Porch	182	1.8 %
Driveway - Pavers	445	3.6 %
Front Walk - Pavers	108	0.8 %
Conc. Feet	128	2.0 %
<b>TOTAL LOT COVERAGE:</b>	<b>2146</b>	<b>35.0 %</b>

REQUIREMENTS	LOT 20	LOT 20.01	LOT 20.02	EX. VARIANCE	VARIANCE REQUESTED
MIN. LOT AREA:	6,000 SF	12,500 SF	6,250 SF	NO	NO
MIN. FRONT YARD:	30 FT	30 FT	30 FT	YES	YES
MIN. SIDE YARD:	5 FT	5 FT	5 FT	NO	NO
MIN. REAR YARD:	5 FT	5 FT	5 FT	NO	NO
MIN. FRONT SETBACK:	5 FT	5 FT	5 FT	NO	NO
MIN. SIDE SETBACK:	5 FT	5 FT	5 FT	NO	NO
MIN. REAR SETBACK:	5 FT	5 FT	5 FT	NO	NO
MIN. BUILDING HEIGHT:	2 STY.	2 STY.	2 STY.	NO	NO



- SURVEY INFORMATION BY GB ENGINEERING, LLC, DATED MARCH 6, 2018.
- ELEVATIONS SHOWN ARE BASED ON NAVD83 DATUM.
- PROPERTY IS LOCATED IN ZONE "R-5" AS FOR FLOOD INSURANCE RATE MAP NO. B6000 0102 D, DATED AUGUST 28, 2018, BERGEN COUNTY, NEW JERSEY.
- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. EXACT LOCATIONS TO BE MARKED OUT AT TIME OF CONSTRUCTION.
- UTILIZE EXISTING UTILITIES WHERE POSSIBLE.
- CONTRACTOR TO REMOVE ANY UNDERGROUND TIES & CAP ALL EXISTING UTILITIES IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH BOROUGH OF BERGENFIELD STANDARDS & ORDINANCES.
- DRAINAGE FROM THIS PROPERTY SHALL NOT IMPACT ADJ. PROPERTIES FROM, DURING AND AFTER CONSTRUCTION. IN THE EVENT ADJ. PROPERTIES ARE IMPACTED, THE APPLICANT IS REQUIRED TO CORRECT THE WATER AT HIS/HER OWN EXPENSE.
- APPLICANT TO ENSURE THAT FINAL DRAINAGE OF LOT DOES NOT CAUSE SURFACE WATER RUNOFF TO FLOW TO ADJACENT PROPERTIES.
- REFER TO ARCHITECT PLANS FOR DETAILS.
- THIS SUBDIVISION WILL BE FILED BY DEED.

THIS SITE PLAN HAS BEEN APPROVED AT A MEETING OF:

PLANNING BOARD  OF THE BOROUGH OF  
 BD. OF ADJUSTMENT  BERGENFIELD

MEETING HELD ON: 2020

**NOTES:**

- ALL EXHIBITS PLANS AND COPIES SHALL BE RETURNED TO THE TYPE OF PIPE LINES AND INSTALLATION TO BE UNDERWRITERS.
- ALL EXHIBITS ON DISAPPROVED LOTS ARE TO BE LIMITED TO SHOW THE SITE.
- 4" PVC ROOF DRAINS SHALL BE INSTALLED WITH 4" PVC TUBING COVER DRAINAGE.
- FOR PIPE BEHIND DETAILS SEE DETAIL TYP. 20.01.
- MAKE A NEW PVC SEWER CONNECTION TO THE MAIN SEWER. ALL EXHIBITS SHALL BE RETURNED.

### EXISTING LOT COVERAGE SCHEDULE:

Category	Area (SF)	%
Paved Driveway	1591	28.5 %
Paved Porch	160	1.7 %
Paved Walk	117	1.9 %
Wood Deck	278	4.4 %
Macadam	238	3.8 %
Front Walk	143	2.5 %
Concrete Feet	950	8.8 %
<b>TOTAL LOT COVERAGE:</b>	<b>3020</b>	<b>48.3 %</b>

### PROPOSED LOT COVERAGE SCHEDULE:

Category	Area (SF)	%
Driveway	1161	21.9 %
Front Porch	102	1.6 %
Driveway - Pavers	445	3.8 %
Front Walk - Pavers	104	0.8 %
Conc. Feet	120	1.3 %
<b>TOTAL LOT COVERAGE:</b>	<b>1,448</b>	<b>21.8 %</b>

APPROVED: \_\_\_\_\_

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED: \_\_\_\_\_

BOROUGH ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



**OWNER:**  
 THE FORADA DEVELOPMENT GROUP LLC  
 710 HEBBORN ROAD  
 RIDGEWOOD, NJ 07070  
**CONTACT INFO:**  
 PHONE: 201-442-0807  
 EMAIL: STEVE@FORADAGROUP.COM

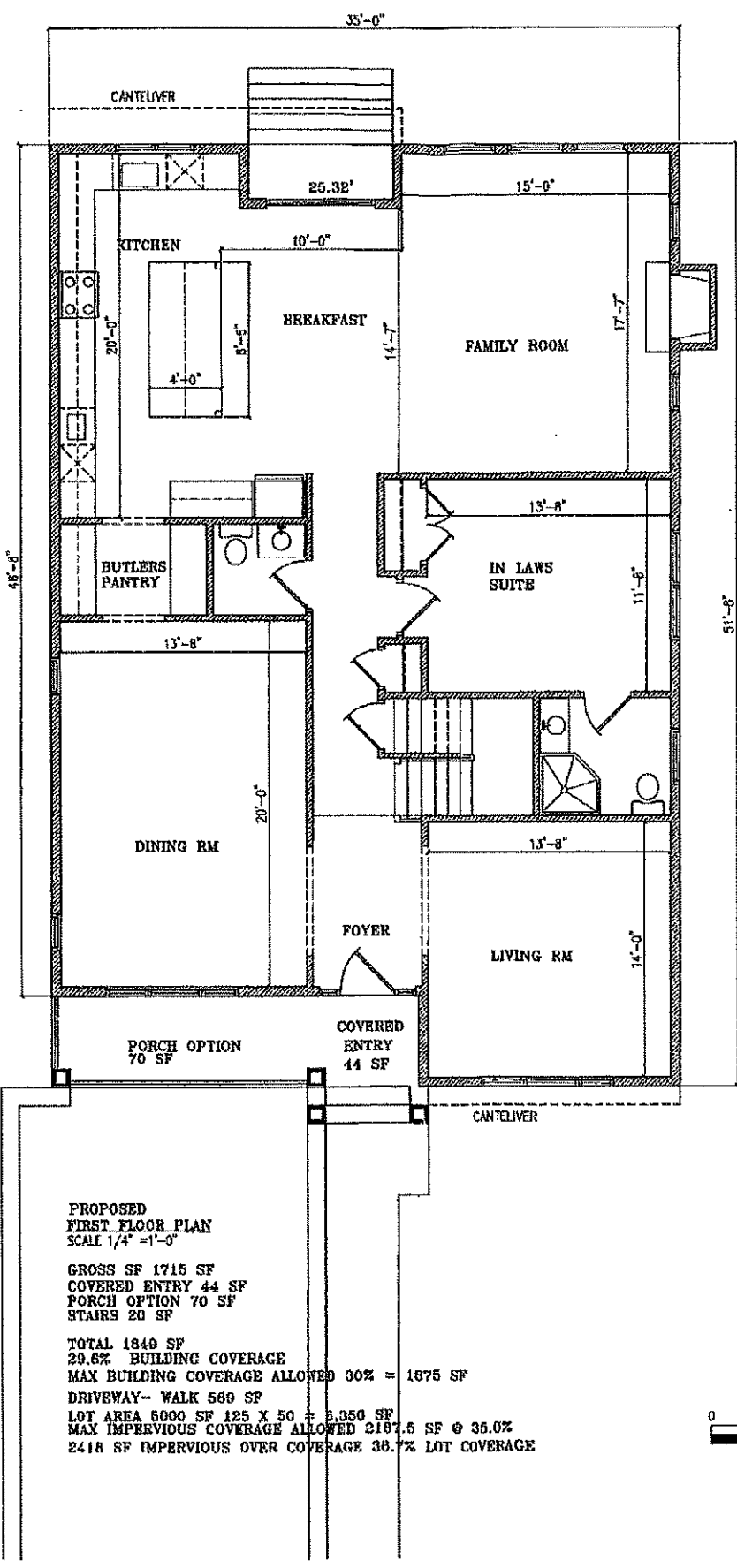
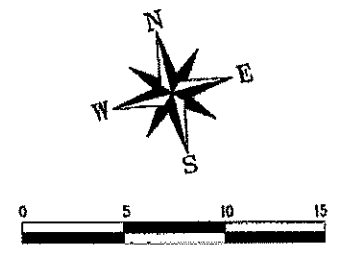
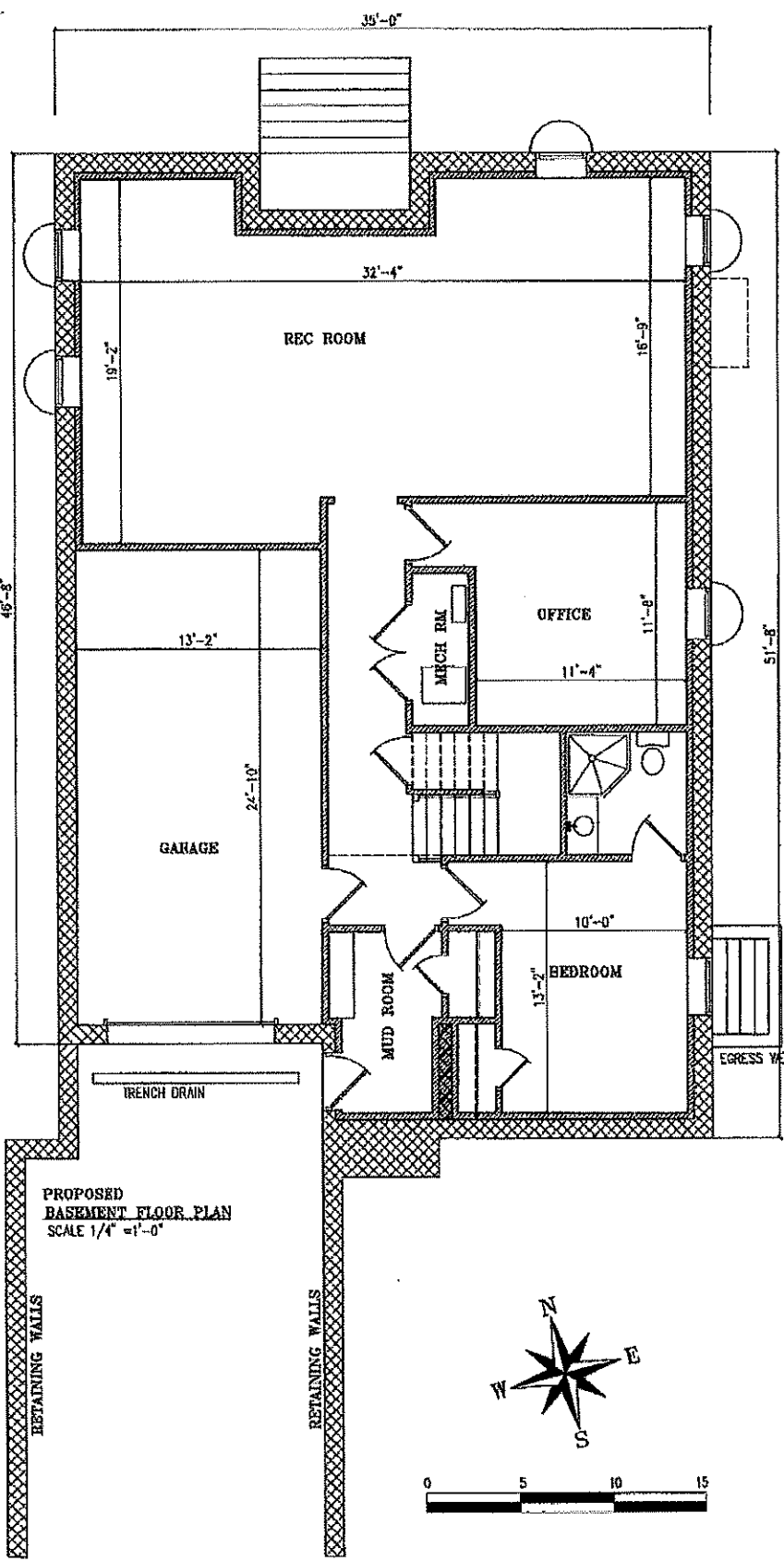
MAP SHOWING  
**MINOR SUBDIVISION**  
 111 HALLBERG AVENUE  
 LOT 20 IN BLOCK 219 TAX MAP

**BOROUGH OF BERGENFIELD**  
**BERGEN COUNTY NEW JERSEY**

GB ENGINEERING, LLC  
 ENGINEERS & SURVEYORS  
 174 JEWELL STREET  
 GARFIELD, NEW JERSEY 07028  
 (973) 340-0848 FAX 340-0018

SCALE: 1"=20'-0"  
 DATE: FEBRUARY 8, 2020  
 SHEET NO. 1 of 1  
 FILE NO. 2019/1213

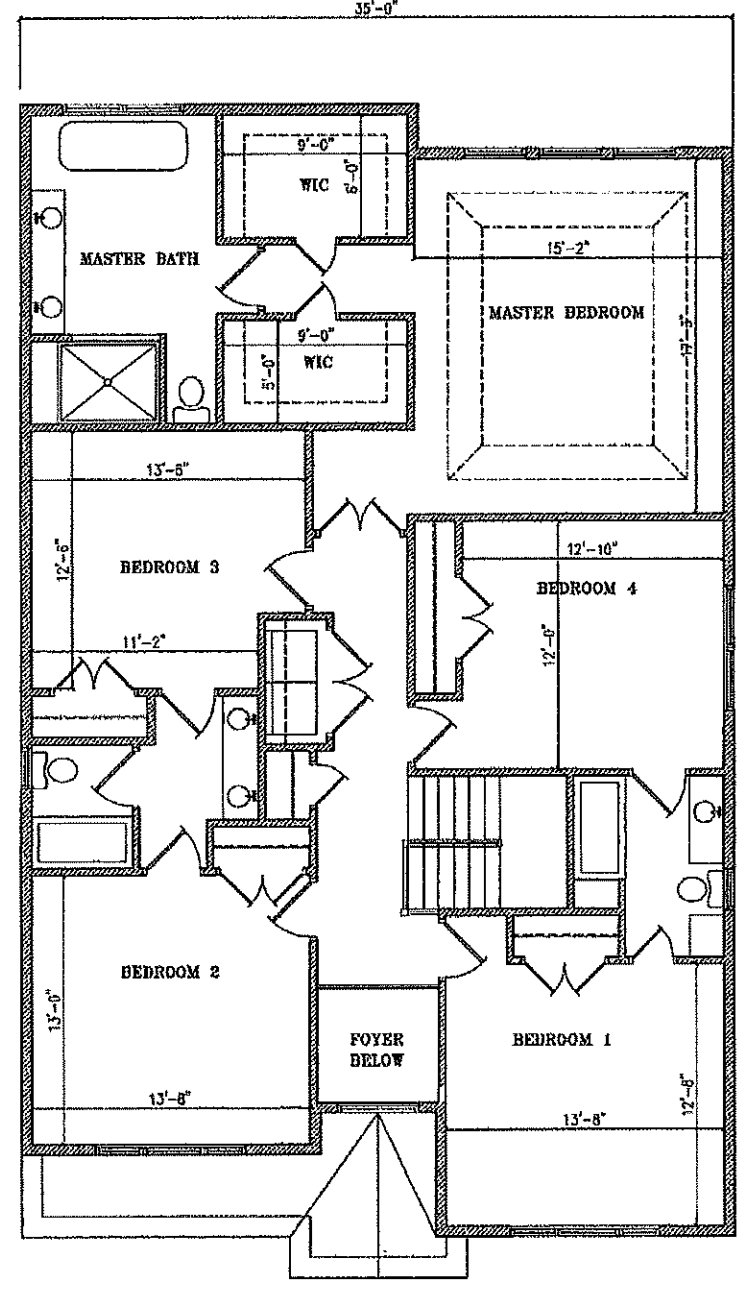
NO.	DATE	REVISION
2.		
1.		



PROPOSED  
FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"

GROSS SF 1715 SF  
COVERED ENTRY 44 SF  
PORCH OPTION 70 SF  
STAIRS 20 SF

TOTAL 1849 SF  
29.6% BUILDING COVERAGE  
MAX BUILDING COVERAGE ALLOWED 30% = 1875 SF  
DRIVEWAY- WALK 569 SF  
LOT AREA 6000 SF 125 X 50 = 3,350 SF  
MAX IMPERVIOUS COVERAGE ALLOWED 2167.5 SF @ 35.0%  
2418 SF IMPERVIOUS OVER COVERAGE 36.7% LOT COVERAGE

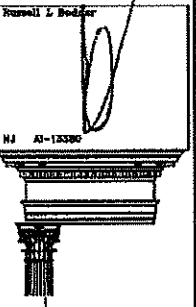


SECOND FLOOR PLAN  
SCALE 1/4" = 1'-0"

GROSS BUILDING AREA 1792 SF  
1706 W/O FOYER SPACE AND STAIRS



**B.A.S**  
52 LONG HILL Road  
Long Valley, NJ, 07853  
(908) 391-2255  
TLEODNAR1234@GMAIL.COM



NEW SINGLE FAMILY  
111 HALLBERG AVENUE  
BLOCK 219 LOT 20  
BERGENFIELD, NJ  
PORADA DEVELOPMENT GROUP LLC

BODNAR ARCHITECTURAL STUDIO

REVISIONS:

NO.	DESCRIPTION	DATE

TITLE:  
PROPOSED  
FLOOR PLANS

CAD \*

DRAWN \* M.S.

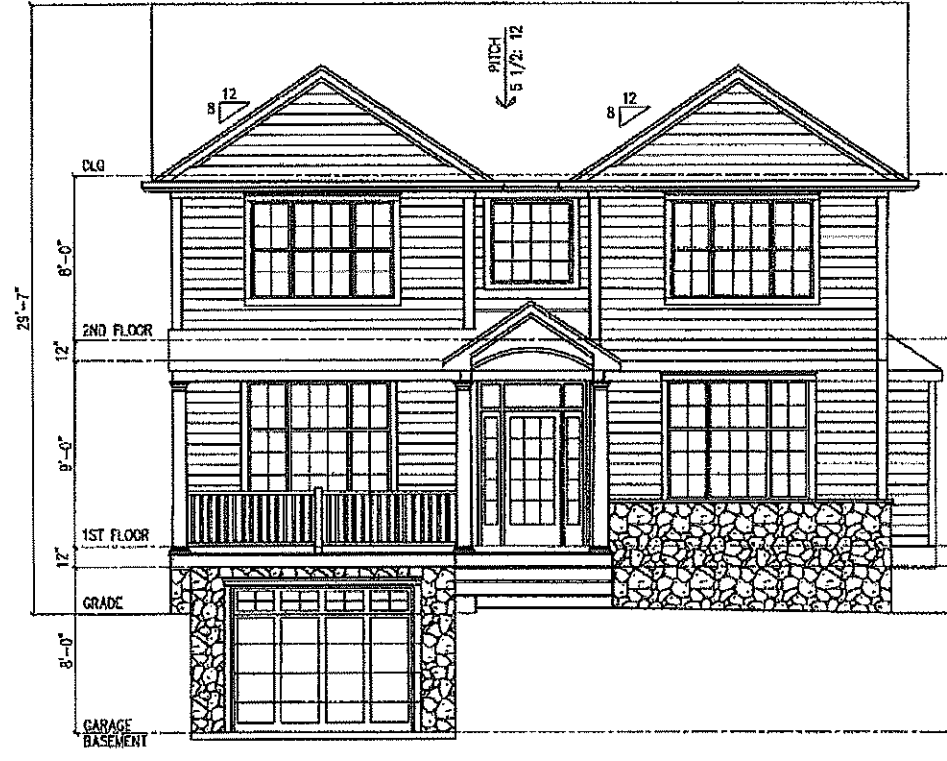
CHECKED \* M.S.

SCALE \* NOT

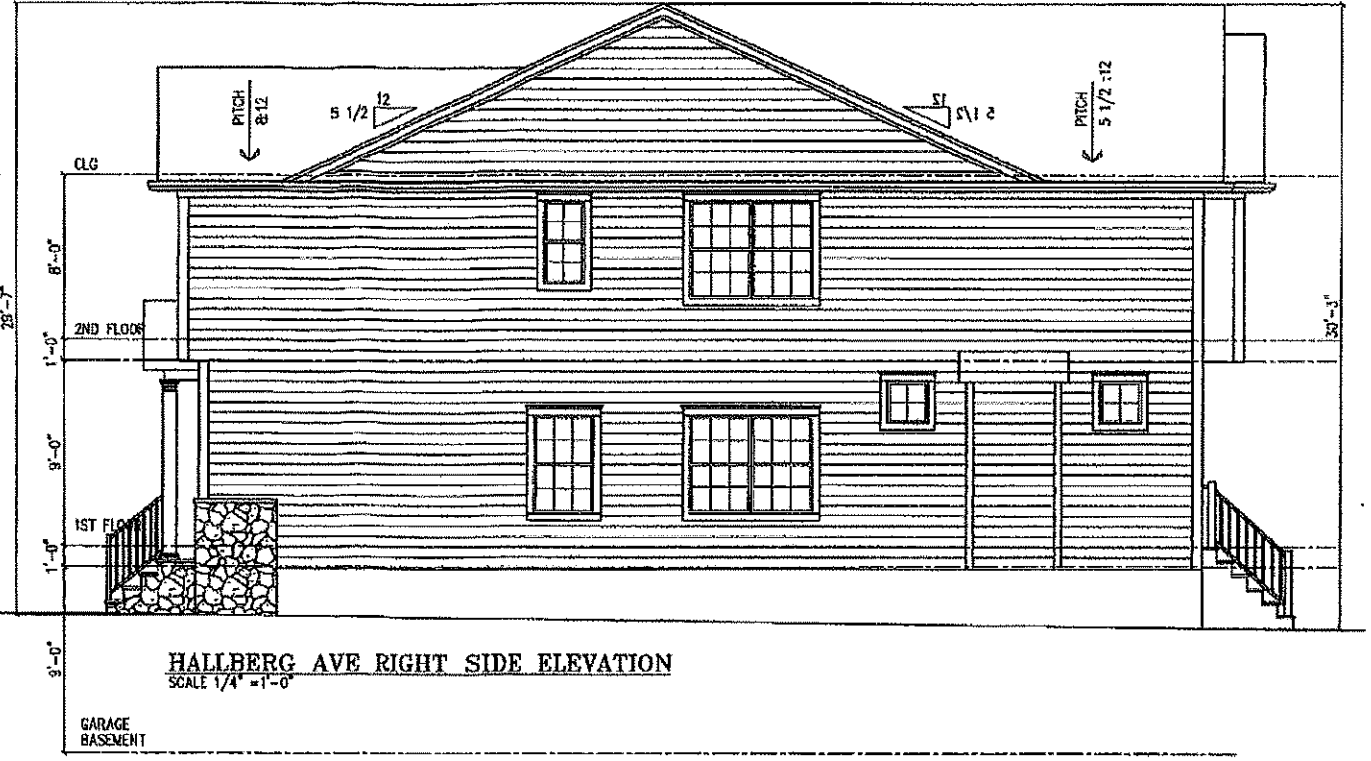
DATE \* 2-14-20

CONTRACT No. \*  
2019-16

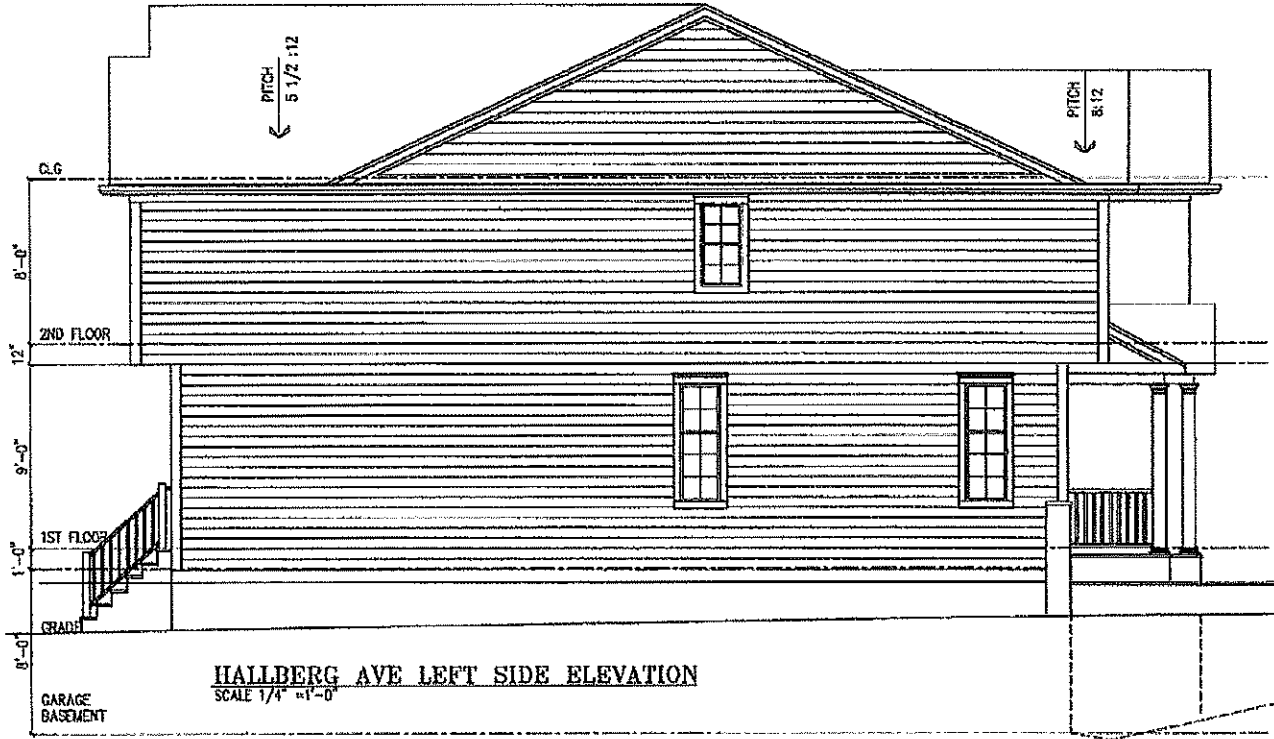
SHEET \* REV.  
Z01 0



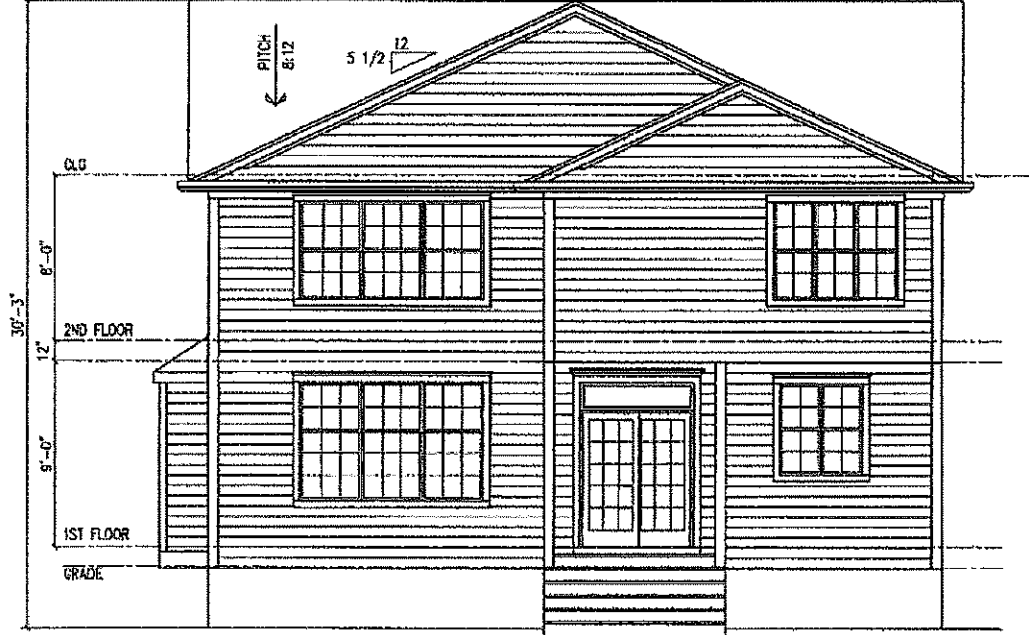
HALLBERG AVE FRONT ELEVATION  
SCALE 1/4" = 1'-0"



HALLBERG AVE RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



HALLBERG AVE LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"

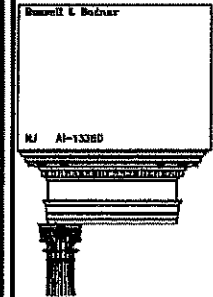


HALLBERG REAR ELEVATION  
SCALE 1/4" = 1'-0"



**B.A.S**

52 LONG HILL ROAD  
LONG VALLEY, NJ, 07853  
(908) 391-2255  
RLBODJARI1234@GMAIL.COM



NEW SINGLE FAMILY  
1.1.1 HALLBERG AVENUE  
BLOCK 219 LOT 20  
BERGENFIELD, NJ  
FORADA DEVELOPMENT GROUP LLC

BODNAR ARCHITECTURAL STUDIO

REVISIONS

NO.	DATE	DESCRIPTION

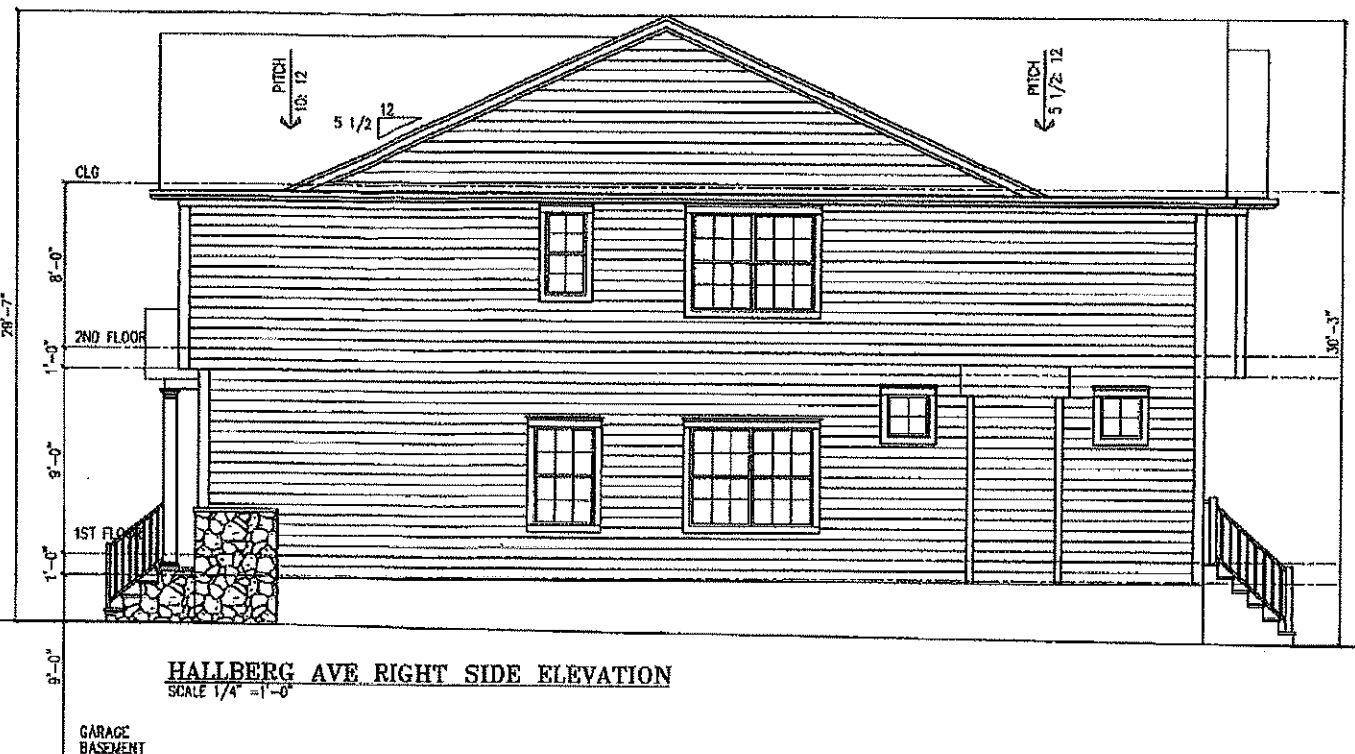
TITLE: PROPOSED ELEVATION

GAD  
DRAWN: RLB  
CHECKED: RLB  
SCALE: NTD  
DATE: 1-23-20  
CONTRACT No.: 2019-16

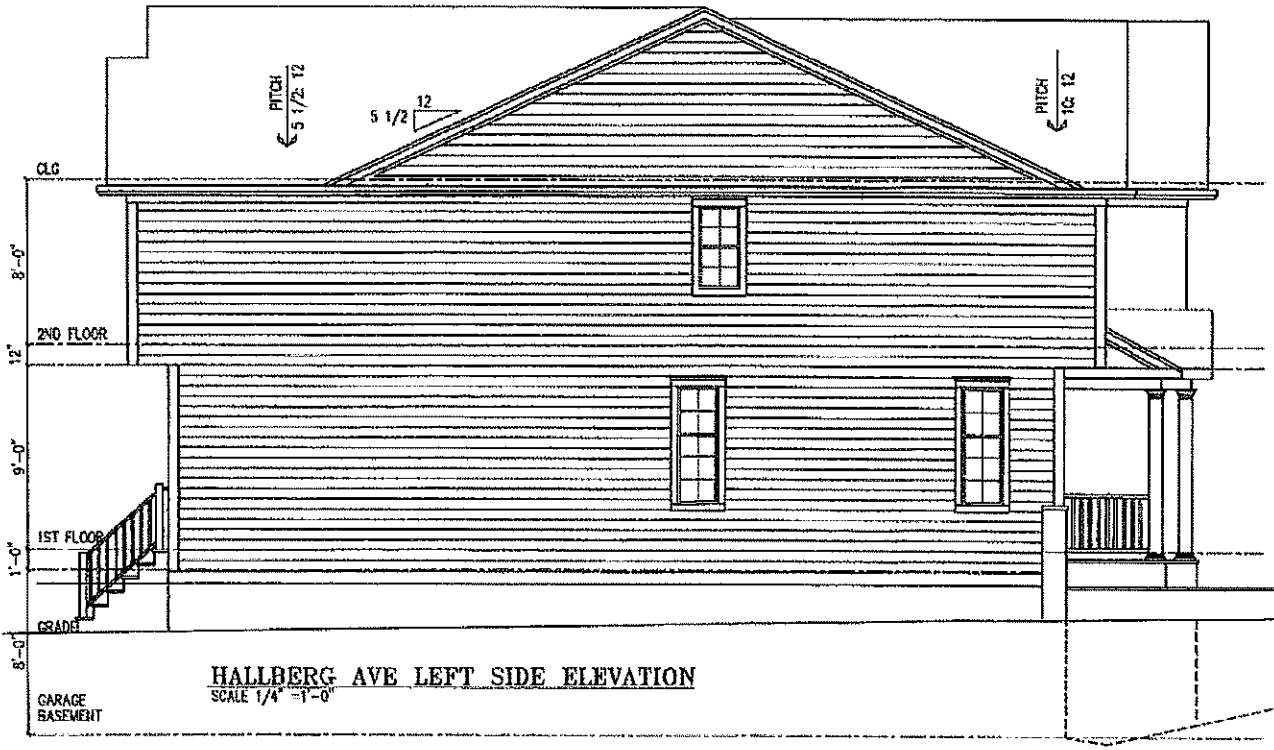
SHEET: ZN2 REV: 0



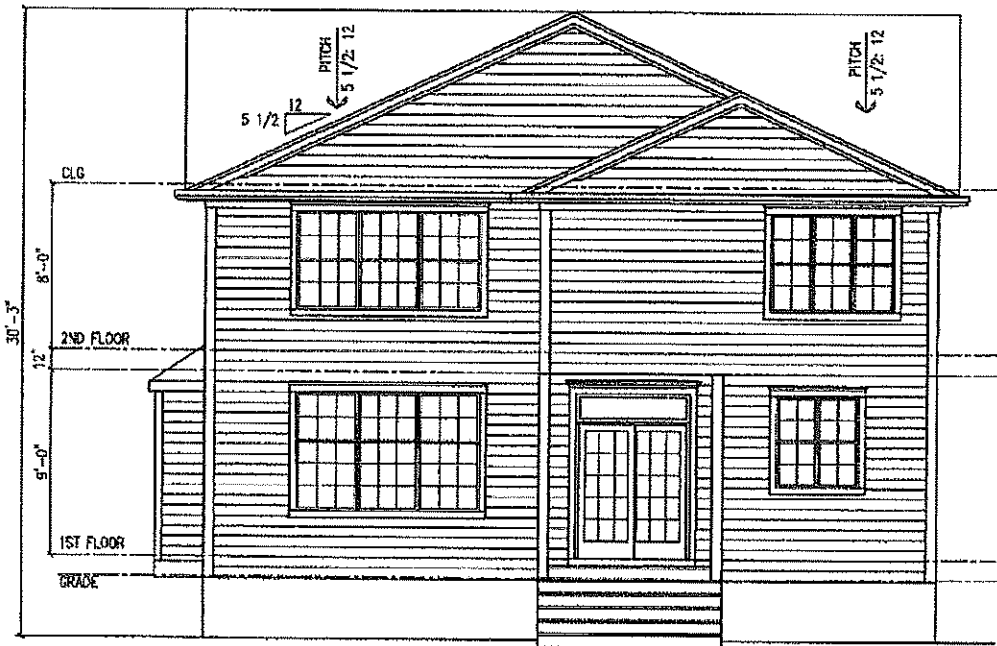
HALLBERG AVE FRONT ELEVATION  
SCALE 1/4" = 1'-0"



HALLBERG AVE RIGHT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



HALLBERG AVE LEFT SIDE ELEVATION  
SCALE 1/4" = 1'-0"



HALLBERG REAR ELEVATION  
SCALE 1/4" = 1'-0"



**B.A.S**

52 LONG HILL ROAD  
LONG VALLEY, NJ, 07853  
(908) 391-2255  
RLBODNARI234@GMAIL.COM

Samuel L. Bodnar

NJ AI-12380



NEW SINGLE FAMILY  
111 HALLBERG AVENUE  
BLOCK 219 LOT 20  
BERGENFIELD, NJ  
PORADA DEVELOPMENT GROUP LLC

BODNAR ARCHITECTURAL STUDIO

REVISIONS

NO.	DATE	DESCRIPTION

TITLE:  
PROPOSED  
ELEVATION

CAD \*  
DRAWN \* RLB  
CHECKED \* RLB  
SCALE \* NED  
DATE \* 2-25-20  
CONTRACT No. \*  
2019-16

SHEET \* REV.  
ZN3 0